

**WEST HARTFORD TOWN COUNCIL MEETING
JUNE 23, 2015
LEGISLATIVE CHAMBER**

ITEM #1: MEETING CALLED TO ORDER – 7:33 P.M.

President Slifka: I'm gonna call the Council meeting to order and we'll begin with the Pledge of Allegiance.

ITEM #2: PLEDGE OF ALLEGIANCE

President Slifka: And as we start tonight, I have a somewhat sad, a bittersweet announcement. Not something that's a moment of silence or anything like that but I wanted to give a special congratulations to Jitu Huntley, who all of us know here and who is responsible in large part for those of you at home watching us right now but who you may not have ever seen. Jitu has been with WHCTV since 2008. He has done phenomenal work as the right hand of Jen Evans who runs the station. He's been more active than just in the station. He's involved with all sorts of organizations. He's on the Board of the Playhouse with Mrs. Casperson and my dad and some others, just a wonderful guy, so good that we learned this past week that ESPN has snatched him up so the good news is he is staying in-state but bad news is it's gonna be a huge loss to us here at Channel 5. But we wanna say a special congratulations to Jitu and we wish him the best of luck. All right, with that, we will go a roll call, please, Ms. King.

ITEM #3: ROLL CALL - ALL COUNCILORS PRESENT.

President Slifka: Thank you, Ms. King. We go to number 4, Approval of Minutes.

ITEM #4: APPROVAL OF MINUTES - RECEIVED

Councilor Cantor: I move that we approve Town Council minutes from 6/9/15.

Councilor Kindall: Second.

President Slifka: The motion's made and seconded. Any discussion? Seeing none, all those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries.

Councilor Kindall: One abstention.

President Slifka: One abstention. Would that be you?

Councilor Kindall: That'd be me.

ITEM #5: PUBLIC FORUM

President Slifka: Okay. So we're up to Public Forum and...and there's no one really in the audience that isn't otherwise here for another purpose but is there anyone who did not sign up who wished to speak to an item on the Agenda this evening that is not otherwise the subject of a public hearing? Okay. If not, we will then move very quickly to number 6, Report from the Town Manager. Mr. Van Winkle, I don't know if you're ready to be on this early but you are.

ITEM #6: REPORT OF TOWN MANAGER

Mr. Van Winkle: Yes, sir. Four minutes into the meeting. We're moving fast. Thank you. Bugbee Elementary School held their 2nd Annual Fill the Bus Event and, on June 5th, in which the staff, students, and parents literally filled a bus and a few extra vehicles with more than 4,700 nonperishable items for our food bank. The substantial drive will restock our pantry shelves. It's been a slow spring but the summer months are often a time when we're asking people for donations to the food bank and this is gonna help us tremendously so thank Bugbee School for the great effort that they did. And a few days later, Morley School students marched to Town Hall from Morley School for the 7th Annual Backpack Brigade and the students, staff, and families carried 395 donated backpacks...many filled with school supplies for the Human Services' Back to School Program. The event supplied more than half of the backpacks needed for the program, which benefits 650 low-income students in West Hartford, and the Department really appreciates the efforts that Morley's been doing now for many years, assisting the Town. It's the month of June and the month of June is dog license month, yes. And so, remember, it's a great month to get your dog their license so that they can hold tail higher for being proud to wear a West Hartford dog license. There's another week to go. The Town has a whole lotta really great people that work for us that do great work for us. One of those that most people don't know is our Energy Czar, I'll call her. She's part-time. Her name is Catherine Diviney. She's an expert on energy and came to us from Seattle. We were looking for someone to help us and she has brought us all sorts of programs. We've won all sorts of awards because of her work. We have reduced our energy costs in our schools and in our public buildings pretty dramatically and we're doing a program this year of you approved 4.7 million dollars of bonded money to make investments, and continue to make investments in our buildings to reduce our energy costs. Well, we've been able to get that program moving forward. It's just beginning but we've been able to make design changes to it and now the payback in that program will be only 4½ years, so in 4½ years, we will have paid off those bonds, that 4.7 million, and we will make money through those investments in the coming years. We are now running a program, which you, if you go onto the westhartfordct.gov website, you can see right on the front page, there's a program that West Hartford Clean Energy Task Force has sponsored and an opportunity to buy LED bulbs. I'd mentioned this before but I just wanna mention how well we're doing with all of this. You buy, can buy four LED bulbs for \$10 and, at this point, we've sold 592 light bulbs and raised \$740 for the Town that Cares fund. Again, of the money that you spend, \$10, half of it goes to the Town that Cares and so another way to fundraise...and these LED lights cuts your energy savings substantially and, over the life of that bulb, we'll save the homeowner tens of thousands of dollars so we would recommend anyone who is looking to save some energy or is, has been thinking about buying some additional, maybe, LED bulbs, these are very inexpensive at \$2.50 apiece and you can take out a 60 watt bulb and replace it with one of these and save you

money and help the Town that Cares. That's really all I have this evening. If you have any questions, I'd be glad to answer them.

President Slifka: Thank you, Mr. Van Winkle. Are there any questions for the Manager? Mrs. Hall?

Councilor Hall: Thank you. Ron, I don't know whether you're prepared to talk about this but we have spoken about it in Community Planning and since it came up during the Community Comment period, I'm wondering if you could just talk a little bit about our challenges with our State mandate over recycling and maybe expound a little bit on some of the changes that we've been experiencing.

Mr. Van Winkle: Yup. Well, we are required by State law to recycle and we have recycled for many, many years and a few years ago we moved from a separation of our materials to a single barrel, where you throw everything in and then it goes off to a recycling company to recycle that. We used to bring it to the CRRA facility. We no longer do that. We take our garbage to another company and we take our recycling, we put it out to bid and were able to get a much better bid for our recycle materials. CRRA would give us \$5 a ton maybe. They would make that decision each year and decide whether they should or should not but we were getting up to \$10 a ton from our recycling company but the world economy has slowed. The Chinese economy has slowed. Energy costs are down so plastics are cheaper to make than to recycle. There's a whole bunch of things that're sort of moving against the recycling. We're still getting \$7 a ton, which is more than we used to get, but it certainly doesn't make up for the cost of picking it up. We spend \$85,000 just picking up recycling at the homes. If we didn't recycle, we'd still have to pick the garbage up and there would probably be a second can that we would have to pick up every week at homes and so there's a whole bunch of things moving here and it costs us about a million dollars a year to pick up a second can, so there're some pluses and minus on all sides of recycling, as well as...it's something that we can't measure necessarily in West Hartford but there's obviously some good environmental issues with trying to recycle materials rather than throwing 'em in a hole or burning them at a plant. The environmental impact, perhaps, is better when you're able to recycle. But it is a State law and it is something that we are required to do by State law and something we have done for many decades.

Councilor Hall: And do you think Ms. Glynn's suggestion about posting the cost of recycling on our website is something that we could do?

Mr. Van Winkle: Yeah, I got a resident in West Hartford, who writes me at the beginning of every month, asking for the day that we don't get the data until the middle of the month for the previous and I send it to him. It's somewhat interesting. It's data that I track, if you will. It's more interesting to me to look at trends than a single month's data of here's what we did in May. And it's something that we're aware of. We worry about the revenue. We measure those sorts of things. We recycle lots of things. We recycle leaves in West Hartford. We do a lot of things of that nature that doesn't give us a return but we do it for good reason, so it's certainly something we could put on the web page. Our web page has a *huge* amount of information on it and every once in a while I find somebody going I couldn't find it and you need to then, you gotta go Public Works and when you get to Public Works, you gotta click on this and then you

gotta go there and so we could do something along that line and put it up usually by mid-month of the following month we'd have that data. I look at it every month. I get it from Public Works and it's something we could add.

Councilor Hall: Okay. I know we have all of our financial information, all our financial statements...

Mr. Van Winkle: Yup, absolutely.

Councilor Hall: ...and all of that...

Mr. Van Winkle: Absolutely.

Councilor Hall: ...so that's good. One other thing, just on the recycling...I had a conversation with someone this past weekend and they were just kind of putting everything in their blue bin and I was like, oh, are you sure that's recyclable? And they said, oh, it's single stream, everything is recyclable. And I know that in our discussions we could end up kind of spoiling the whole batch of recyclables if things are contaminated...

Mr. Van Winkle: Yes.

Councilor Hall: ...so...just don't know whether we could use this opportunity to talk about that.

Mr. Van Winkle: Well, we've sent out some brochures and we've done some advertisings, taken some ads out. Actually, the company that we take our garbage to for disposal gives us a \$15,000 grant each year to promote recycling and so we've been using that money to make sure people know what is recyclable.

Councilor Hall: And so when something goes in that's not recyclable, so everything is being hand sorted? Or how does that work?

Mr. Van Winkle: No. It's machine sorted in some ways. Recycling's an interesting process. You shred paper, they can't recycle it. Paper is separated by air and so confetti doesn't go the way paper might go. There's a whole bunch of processes, magnets they use, the heavy weight of glass that falls to the bottom, so they have a mechanical process and there is some hand separation but, mostly, it's done by machines and the...more broken down garbage is or recycling is, the more difficult it is for the machines to do and they end up with broken glass, which they can't get to with these machines so...prices are falling in the markets and so recycling is not as, bring us as big a return. We recycle about 7,000 tons each year. If you recycle a jar of peanut butter, it should be clean. If it's still got food in it, it can't be recycled but most if not all paper, most if not all plastics and if you got to our website to the Public Works, there's a listing of what is recyclable. Many things are. Styrofoam are not recyclable in many cases. So take a look at that website but your neighbor is correct to a certain extent, that most things today are recyclable, but there are things that need to be separated out. If they get into that barrel, the contractor needs to separate out and it raises his costs on his end.

Councilor Hall: Thank you and that's what I think I was trying to stress, that if we don't do it right, we don't...

Mr. Van Winkle: It costs more.

Councilor Hall: ...it costs more and...

Mr. Van Winkle: Yeah.

Councilor Hall: ...thanks.

President Slifka: Okay. Thank you. Anyone else? Mr. Barnes?

Councilor Barnes: Thank you. One question about the intersection of LaSalle and Farmington. I know we've had sinkhole problems and pothole problems and over the last week or two there's been quite a bit of construction work going on out there. Could you just give us an update of what the problem is and how we're addressing it?

Mr. Van Winkle: Sure. Um...late last fall, there was a water main in LaSalle Road that broke and that pushed a lotta water underneath the road and that water found a place to go and we, by midwinter, were experiencing some holes in the street, the street dipping down and then holes opening up in the street. So, this spring we began we open the street up, looking for where is the broken infrastructure. We were able to find an old, abandoned pipe in the street. It's a pipe that comes across parallel to the road and it goes down straight. They're called chimneys. We were able to find that and correct it, cap it, and fill it, so that it no longer would do that and so we cleaned that up where we were having those problems. It was, it really occurred because of the water main break but it would need to be done at one point and then we opened up the next section and also found some problems with materials that were put in there during some past construction some time ago. We, when you're filling a street, you don't use sand 'cause sand doesn't compact. You use gravel. Gravel locks itself up. Well, the contractor working for the MDC, I believe, put sand in there and, therefore, that sand was disappearing into pipes and it was causing problems. We took all of that out, fixed the area, and rebuilt the street and so I believe we finished our paving. We should be done with our work now today. The MDC still has to come back and do a repair to a sanitary sewer that has a crack in it. They did a temporary repair to, they'll make another cut, but that will finish the work that should, that was causing the problem there of the street falling, hopefully.

Councilor Barnes: Thank you.

President Slifka: Thank you, Mr. Barnes. Anybody else? Okay. Thank you, Mr. Van Winkle. We'll go to number 7, Mrs. Cantor.

ITEM #7: CONSIDERATION OF CONSENT CALENDAR – ITEMS 16-19 TO RECEIVE

Councilor Cantor: Seven. I move that we place items 16-19 on the consent calendar.

Councilor Kindall: Second.

President Slifka: Motion's made and seconded. Any discussion? Seeing none, all those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. Number 8, Mrs. Cantor.

UNFINISHED BUSINESS:

ITEM #8: APPLICATION ON BEHALF OF CONNECTICUT ASSOCIATION OF PUBLIC SCHOOL SUPERINTENDENTS (CAPSS) TO AMEND SPECIAL DEVELOPMENT DISTRICT (SDD) #93 AT 26 CAYA AVENUE TO DEMOLISH THE ENTRYWAY AND STAIRCASE, CONSTRUCT A TWO-STORY, 1,235 SQUARE FOOT ADDITION, DEMOLISH THE EXISTING DETACHED GARAGE, AND EXPAND THE PARKING LOT BY ADDING FOUR (4) SPACES

APPROVED; VOTE 8-0

Councilor Cantor: Application on behalf of Connecticut Association of Public School Superintendents (CAPSS) to amend Special Development District #93 at 26 Caya Avenue to demolish the entryway and staircase, construct a two-story, 1,235 square foot addition, demolish the existing detached garage, and expand the parking lot by adding four spaces. I move that we adopt.

Councilor Kindall: Second.

President Slifka: Thank you. Motion's made and seconded. This was the subject of a public hearing earlier tonight and to, I think, quote a member of the applicant's team, it was very straightforward. Appreciate the succinct presentation. It moved very quickly but it was also very informational and I am fully in support. It looks like a good addition and I just found it interesting for those that might watch these things that this is for the building, that if you don't know where 26 Caya Avenue, it's the little street that's one way that if you're getting off the Prospect Avenue exit on 84 going east and maybe heading over to the array of fast food joints or Angelina's Pizza or one of those spots, you're gonna have gone right past it on the left hand side and, believe it or not, there's a very nice building there, which is about to be improved if we approve this tonight with lots of parking. And I had no idea it was ever there. So I wish you well and thank you for the very thorough presentation. Anybody else on this? Mr. Davidoff?

Councilor Davidoff: Thank you, Mr. Mayor. I just would like to commend the applicant for touching on all the things that are necessary in the zoning application, as well as deciding to reinvest in their property here in West Hartford. That seems to be a common theme, that instead of looking for another site to make their business model work, they worked with Town Staff and found a way to expand their operations and make it handicap accessible and stay in the great Town of West Hartford and we do appreciate that. Thank you.

President Slifka: Thank you. Anyone else? Okay. With that, then, we need a roll call, please, and Mrs. Casperson will not be voting on that.

Councilors Barnes, Cantor, Captain, Davidoff, Doar, Hall, Kindall and Slifka voted YES.

President Slifka: Yes. Okay. It's unanimous. Congratulations. Okay, we go to number 9 under New Business, Mrs. Cantor.

NEW BUSINESS:

ITEM #9: APPLICATION OF 15 NORTH MAIN ASSOCIATES LLC, OWNER OF 15 NORTH MAIN STREET, TO AMEND THE SIGNAGE CRITERIA AND LANDSCAPING PLAN FOR SDD #132 (NORTHWEST CORNER OF THE INTERSECTION OF NORTH MAIN STREET AND BRACE ROAD) TO REDUCE OVERALL BUILDING SIGNAGE BUT AUTHORIZE ONE THIRD FLOOR SIGN FOR A MAJOR TENANT, AND LOCATE STREET TREES IN LANDSCAPED PLANTING BEDS RATHER THAN DIRECTLY INTO THE SIDEWALKS

(See Attachment A)

SET FOR PUBLIC HEARING ON AUGUST 18, 2015, AT 6:00 P.M. AND REFERRED TO TPZ AND DRAC

Councilor Cantor: Application of 15 North Main Associates, LLC, owner of 15 North Main Street, to amend the signage criteria and landscaping plan for SDD #132 to reduce overall building signage but authorize one third floor sign for a Major Tenant, and locate street trees in landscaped planting beds rather than directly into the sidewalks. I move that we set for public hearing on August 18, 2015 at 6:00 p.m. in the legislative chamber and refer to TPZ and DRAC.

Councilor Kindall: Second.

President Slifka: Motion's made and seconded. Any discussion? Seeing none, all those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. Number 10, Mrs. Cantor.

ITEM #10: RESOLUTION APPROPRIATING \$6,000 IN THE FISCAL YEAR 2014-2015 GENERAL FUND BUDGET FOR THE RENOVATION OF THE CUSTOMER COUNTER IN THE TOWN CLERK'S OFFICE

ADOPTED

WHEREAS, it is necessary to renovate the customer counter in the Town Clerk's office in order to improve workflow efficiency and comply with the Americans with Disabilities Act (ADA), and

WHEREAS, the estimated cost of this project is \$12,000, half of which is available within existing appropriations, and

WHEREAS, the Town Clerk's office collects land record fees under the Mortgage Electronic Registration System (MERS), and

WHEREAS, said funds are available for appropriation for the remaining cost of the project (\$6,000),

NOW, THEREFORE, BE IT RESOLVED THAT THE TOWN COUNCIL OF THE TOWN OF WEST HARTFORD authorizes the renovation of the customer counter in the Town Clerk's office in order to improve workflow efficiency and comply with ADA requirements and hereby amends the fiscal year 2014-2015 budget of the General Fund as follows:

Estimated Revenues

01-010101-40305-9234	MERS Fee	\$6,000
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Appropriations

01-010101-40305-2070	Professional Services	\$6,000
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Councilor Cantor: Resolution appropriating \$6,000 in the Fiscal Year 2014-2015 General Fund Budget for the Renovation of the Customer Counter in the Town Clerk's Office. I move that we adopt.

Councilor Kindall: Second.

President Slifka: Okay, motion's made and seconded. It's a shame that Ms. Labrot could not be here this evening for this exciting item but perhaps, Mr. Van Winkle, you could address it.

Mr. Van Winkle: Yes, thank you. Um...the legislature in their wisdom when they made some changes to how land records are paid for, there was some recordings that were not getting on the land records and the legislature corrected that. They decided they would appropriate a portion of those monies directly to the Town Clerk for her use and this \$6,000 that you're appropriating comes to the Town Clerk. It still has to be appropriated by the Town Council. In the Clerk's office is a counter that is about four feet high and is not accessible for someone who might walk in there and so we're going to move some of the file cabinets out of there, rebuild that counter, improve the accessibility, and also improve the work flow in the office. That \$6,000 that comes from this appropriation and there is \$6,000 in the Town Clerk's budget that is unexpended that will be combined to a total cost to replace this counter area of \$12,000.

President Slifka: Thank you. Any further discussion? Ms. King, anything to add?

Ms. King: I think we've covered most of it.

President Slifka: Okay. Thank you. Okay. That, all those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. Number 11, Mrs. Cantor.

ITEM #11: RESOLUTION TO AMEND THE FISCAL YEAR 2014-2015 GENERAL FUND, CAPITAL NON-RECURRING EXPENDITURE FUND, AND CAPITAL PROJECTS FUND BUDGETS FOR THE PURPOSE OF FUNDING \$815,000 IN CAPITAL PROJECTS

ADOPTED

WHEREAS, actual current year tax revenue, prior year tax revenue, and interest and lien fees earned in the General Fund for fiscal year 2014-2015 exceed the original estimated revenues and said funds are available for appropriation, and

WHEREAS, the Town wishes to appropriate this revenue to fund a transfer of \$815,000 to the Capital and Non-Recurring Expenditure Fund (CNRE) for the funding of capital projects,

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF WEST HARTFORD that a transfer of \$815,000 to the CNRE Fund is hereby authorized and the Fiscal Year 2014-2015 General Fund budget is hereby amended as follows:

Increase Estimated Revenues

01-911000-90000-9001	Current Year Property Taxes	\$450,000
01-911000-90000-9007	Prior Year Property Taxes	265,000
01-911000-90000-9016	Interest & Lien Fees	100,000

Increase Appropriations

01-900100-10503-4058	Transfer to CNRE Fund	\$815,000
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AND, BE IT FURTHER RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF WEST HARTFORD that the Fiscal Year 2014-2015 CNRE Fund budget is hereby amended as follows:

Increase Estimated Revenues

33-910800-30506-9386	Transfer from General Fund	\$815,000
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Increase Appropriations

33-910800-30506-4058	Transfer to Capital Projects Fund	\$815,000
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AND, BE IT FURTHER RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF WEST HARTFORD that the following amounts are hereby appropriated in the Capital Projects Fund:

<u>Project</u>	<u>Amount</u>
871640 Traffic System Management	\$ 50,000
851611 BOE – Computer Infrastructure	300,000
851659 Furniture & Equipment	100,000
831634 Outdoor Pool Improvements	50,000
831645 Park/Playscape Improvements	60,000
891612 Communications Infrastructure	<u>255,000</u>
TOTAL	\$815,000

Councilor Cantor: Resolution to amend the Fiscal Year 2014-2015 General Fund, Capital Non-Recurring Expenditure Fund, and Capital Projects Fund Budgets for the purpose of funding \$815,000 in Capital Projects. I move that we adopt.

Councilor Kindall: Second.

President Slifka: Motion's made and seconded. Mr. Van Winkle, back to you.

Mr. Van Winkle: Yes. This goes back to the approval of our 2016 budget. In the 2016 budget, we had a number of capital items, which were short-lived and, therefore, funded out of tax revenue rather than bonding. We elected in that budget to move those items into the 2015 budget, the year we're in now, appropriate a portion of the surplus. We are running a surplus as we have now for many years in our General Fund Budget and we're going to appropriate that \$815,000 of that surplus to pay for capital improvements, generally furniture, computers, those sorts of things that we're buying with this monies that would have been in the 2016 budget.

President Slifka: Thank you. Any further discussion on this item? Mrs. Hall, go ahead.

Councilor Hall: So, for our audience, could you explain then the effect on the 2016 budget?

Mr. Van Winkle: Well, it, if we hadn't done this, we would've ended up either having to make \$815,000 in cuts in our expenditures in the 2016 budget or increased the taxes. This effectively kept the taxes lower in the 2016 budget by doing this.

President Slifka: Okay. Thank you. Anything further? Okay. All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. We're up Announcements.

ITEM #12: ANNOUNCEMENTS

President Slifka: And I'm gonna start with this one. Um...the signs are starting to go up around town. They're in Town Hall and I hope they're going to be widely publicized. This is an event for a blood drive. It's gonna take place on Thursday, July 23rd, so that's about a month from now and we'll get more information out about it but the basics are it's from 11:00 a.m. – 3:45 p.m. and it's done in connection with the Red Cross. Why is this so important? Well, obviously, blood drives in general are very important 'cause there's always a shortage of the blood supply. In this case, however, this is in honor of a member of the West Hartford family. It's, specifically, that's Seamus Turco. Seamus is a 17-year-old, Conard student. He has been treated since December for lymphoblastic lymphoma, which is a blood cancer. He has been receiving multiple blood transfusions as a part of his treatment plan. Most of us know him as not just an outstanding young man but also the son of Helen Rubino-Turco, who is our Director of Human and Leisure Services here in Town and so she has been doing a fantastic job while dealing with this at home and the rest of her family, her husband, Paul, and Seamus' twin brother, Gabe, have been very strong in the face of this and in typical Turco fashion, they decided to organize this event with Seamus and his friends and Gabe, to help ensure that blood is available for other people in need like Seamus. So we encourage everybody to please attend this, please support Seamus and note that on the signs it'll say, as twins, Seamus and Gabe encourage all of the donors to bring a twin with them to donate blood in honor of him. So, we'll be talking more about this but, once again, it's gonna be on Thursday, July 23rd, right here in Town Hall from 11:00 a.m. – 3:45 p.m. and if you wanna make an appointment, please...

Councilor Hall: You should.

President Slifka: ...you *should* make an appointment, thank you, please go to redcrossblood.org. That's redcrossblood.org. And then moving on...the Bishop's Corner Neighborhood Association will hold its summer Poetry on the Patio series on the plaza between Maximum Beverage and Blue Plate Kitchen in Bishop's Corner on June 23rd, July 28th, and August 25th from 7:00 – 8:00 p.m. so, actually, it's going on...

Councilor Cantor: No. They canceled it.

President Slifka: Oh.

Councilor Cantor: It's going to be on June 30th.

President Slifka: June 30th. Thank you, Mrs. Cantor. So that's, again, June 30th, July 28th, and August 25th from 7:00 – 8:00 with well-known authors, including Christine Beck, Catherine Hozier, and Julia Morris-Paul. On Sunday, June 28th, more than 150 of the finest high-powered Italian sports cars, including Ferraris, Maseratis, and Lamborghinis, Fiats, and Alfa Romeos will descend on West Hartford Center's LaSalle Road for the 15th Annual Ferrari & Friends Concorso, which benefits Connecticut Children's Medical Center and the Make a Wish Foundation. This event is free and it runs from 11:00 a.m. – 3:00 p.m. This summer, you can learn about West Hartford's fascinating history with the Noah Webster House and West Hartford Historical Society programs, which are taking place on Tuesday, June 30th, so, well, you're gonna hafta, between doing that and Poetry on the Patio. Tuesday, July 28th, again, with Poetry on the Patio, and Wednesday, August 19th, not in conflict. They're all at 7:00 p.m. The topics

are Women in Higher Education, West Hartford's Architecture, and the Flood of 1955. All lectures are free to museum members and \$5 for the general public. If you'd like more info, please go to noahwebsterhouse.org. Children and teens ages 8 and up will compete in the West Hartford Library's town wide talent show on Tuesday, June 30th...wow, a lot going' on that night...at 6:30 p.m. here in the Town Hall auditorium. Come see our young local talent and find out who this year's winners will be. For more information, please either call the Teen Department, 561-6996 or the Children's Department, 561-6980. And, the last on my list, on Sunday, July 5th, the Inaugural West Hartford Freedom Run will take place starting at Town Hall. It is a noncompetitive 5K run. It'll begin at 10:00 a.m. The fee is \$40 and the benefits, I'm sorry, all the money raised will go directly to the Wounded Warrior Project. You can go to westhartfordfreedomrun.com to register. And, I know others have announcements. Mrs. Casperson, I know you've got one.

Councilor Casperson: Thank you, Mr. Mayor. So Playhouse on Park presents Hair. It started on June 10th and it is now running from June, until July 19th. Hair is a, finishes its fabulous 6th season with Tony Award Winning Hair, a musical that, upon its initial premiere, delivered social commentary with a punch that remains relevant to this day. All seats reserved with ticket prices ranging from \$15 - \$45. Call the Playhouse on Park box office at (860) 523-5900 x 10 or visit www.playhouseonpark.org and I've heard it's wonderful. Going soon.

Councilor Kindall: I've actually seen it and it is terrific and I highly recommend everybody attend.

Councilor Casperson: Thank you.

President Slifka: Okay. Thank you. Anybody else? Okay. Nothing? Okay. All right. We're up to Reports from Corporation Counsel. Mr. O'Brien?

ITEM #13: REPORTS OF CORPORATION COUNSEL

Mr. O'Brien: I don't have a formal report but I would request that we meet briefly in Executive Session to discuss pending litigation.

President Slifka: Thank you and I note you passed out, at the start of the meeting, a memo from your office to the Council...

Mr. O'Brien: Yes.

President Slifka: ...regarding a recent Supreme Court decision.

Mr. O'Brien: Yes.

President Slifka: I wonder if maybe you could just, since it's got some local impact, maybe you wanna give a quick update.

Mr. O'Brien: Yeah, that concerned a town in Texas, which had a sign ordinance that was quite a bit different from ours because it created three categories of signs; what they called an ideological signs, informational signs, and then there was a third category, which I can't remember off the top of my head, but they ruled the Sign Ordinance, oh, directional signs, and there was a church where they were putting up directional signs every Sunday and they were told they had to take 'em down. They couldn't do this and that they were gonna be very strict in enforcing it. Ended up going to the U.S. Supreme Court. The U.S. Supreme Court 8-1 ruled that the Ordinance was unconstitutional. Having examined that case and comparing it to our own Sign Ordinance, we believe that we don't have to take any action with regard to our Sign Ordinance, since we don't regulate signs that way. We regulate more in the idea of size and that sort of thing. We don't really regulate on content, so we don't think any action is necessary now but we'll keep monitoring the situation and if lower courts issue opinions that put our Sign Ordinance in jeopardy then we'll let you know.

President Slifka: Thank you very much. Anything further for Mr. O'Brien? Okay. Thank you. We're up to Appointments and I think Mrs. Hall has the only one this evening.

ITEM #14: APPOINTMENTS

Councilor Hall: Yes, I'd like to make a motion to appoint Chris Williams as Council Zoning Alternate with a term ending 12/31/2015.

Councilor Doar: Second.

President Slifka: Motion's made and seconded. All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. Okay. We're up to Consent Calendar, Mrs. Cantor.

ITEM #20: CONSENT CALENDAR

ADOPTED

ITEM #16: FROM TOWN PLAN AND ZONING – RE: 26 CAYA AVENUE – RECOMMENDING APPROVAL

ITEM #17: FROM DESIGN REVIEW ADVISORY COMMITTEE – RE: 26 CAYA AVENUE – RECOMMENDING APPROVAL

ITEM #18: MINUTES FROM FINANCE AND BUDGET COMMITTEE – 6/3/15

ITEM #19 – MINUTES FROM PUBLIC SAFETY COMMITTEE – 6/4/15

Councilor Cantor: I move that we adopt.

Councilor Kindall: Second.

President Slifka: Motion's made and seconded. All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. Number 31, Mrs. Cantor.

Councilor Cantor: 21 but that's okay.

President Slifka: Sorry, 21. Just so excited.

COMMUNICATIONS:

ITEM #21: NOTICE OF TOWN PLANNER'S INTENTION TO APPROVE PURSUANT TO SECTION 177-44C (9)(E) A REQUEST FROM SIMON BRIGHENTI, ESQ. ON BEHALF OF T-MOBILE NORTHEAST, LLC, SEEKING APPROVAL FOR A REVISION TO SPECIAL DEVELOPMENT DISTRICT PLAN #127 LOCATED AT 333 NORTH MAIN STREET AND 2523 ALBANY AVENUE. THE REQUEST IS FOR MINOR MODIFICATIONS TO THE EXISTING WIRELESS TELECOMMUNICATIONS STRUCTURES

(See Attachment B)

RECEIVED

Councilor Cantor: Notice of Town Planner's intention to approve pursuant to Section 177-44C (9)(e), a request from Simon Brighenti, Esq. on behalf of T-Mobile Northeast, LLC, seeking approval for a revision to Special Development District plan 127 located at 333 North Main Street and 2523 Albany Avenue. The request is for minor modifications to the existing wireless telecommunications structures. I move that we receive.

Councilor Kindall: Second.

President Slifka: Motion's made and seconded. Any discussion? Mr. Barnes?

Councilor Barnes: Just for clarification, are we just receiving it? Do we have to vote on it or take any action on this correspondence?

President Slifka: I will, unless I get this wrong, and I ask Mr. O'Brien to correct me, the, our vote to receive is our act to essentially approve. Would that be a fair summary, Mr. O'Brien?

Mr. O'Brien: Yes, that's correct because the other action you could take would be to set it for a public hearing and do the traditional route for amendment to special development districts, so receiving it ratifies it.

President Slifka: Okay. Then is there someone here that can speak to this communication for us so we know what we, we're voting on? Mr. Van Winkle? Mr. Alair?

Mr. Van Winkle: No, go ahead. You, you've dealt...he is an expert on everything wireless.

Mr. Alair: For my sins, yes. The, what is happening is, as T-Mobile's technology changes, they are swapping out antennas. Sometimes that makes specific antennas a bit bigger; sometimes it means taking three and making them four and that's what's happening here. You, I think you have the plans in front of you that show you the detail of what's happening here. We have a change in the legal landscape regarding these. The federal government a couple years ago adopted a change in telecommunications law, which essentially says and I'm paraphrasing a much, much longer, more complicated statute than this, but it essentially says that if a municipality has approved a location (i.e., this property) for telecommunications equipment in the past then, in essence, you don't have the right to say no anymore. So...what we are doing a little bit here is an exercise in jumping through the procedural hoops of blessing something that you don't have the right not to bless. And I don't like putting, we don't, none of us like putting the Council in that position but with an SDD, in order to preserve the process, that's what we're doing.

President Slifka: Thank you. Mrs. Kindall?

Councilor Kindall: So having approved a cell tower at a certain height, could they quadruple that cell tower and we could do squat about it?

Mr. Alair: No. I, I...

Councilor Kindall: So, yeah...

Mr. Alair: ...I should have been clearer. I was trying to be a little bit quick here. The federal statute does have, invoke a concept called Substantial Change. There is, there are a number of criteria that the FCC issued in last October I think it is, basically talking about, amongst other things, what constitutes substantial change, that I think there's a formula if I recall correctly, for difference in height. There's also a formula, for example, if you approved a disguised antenna, that doesn't mean that you have to approve non-disguised antennas. But for this purpose, for, in this case, this is not a substantial change under the statute and, therefore, essentially, Todd viewed it as being within his authority as an administrative amendment, partially as a minor architectural amendment and partially because you have that provision that allows him to do an administrative amendment in the case where it's required to comply with other laws and that's what this is.

Councilor Kindall: Mr. Mayor, just one other question.

President Slifka: Go.

Councilor Kindall: I don't know the answer but does the Siting Council also get involved in this or is this something fairly local?

Mr. Alair: Um...the Siting Council does not, as a practical matter, get involved in these. They understand, there's a strange history to telecommunications regulation, a period of time where the Siting Council said they didn't have jurisdiction. Then they did have jurisdiction because the federal court said they had jurisdiction. Meanwhile, most towns had adopted regulations and there has sort of become a détente about when a tower goes to the, a true tower goes to the Siting Council, and things that are less than towers, true towers, go to municipalities but the statutory definition of what constitutes a tower within the Siting Council's jurisdiction and I'm not joking here, it's one of my favorite definitions of all times, something that is taller than it is wide.

Councilor Kindall: Well, accurate, that's good. So...just to clarify, looking at the pictures, are we going from one antenna to six?

Mr. Alair: I'd have to double-check.

Councilor Kindall: It sounds, I mean, at least the last two pictures, there's a single one and then there seems to suddenly two arrays of threes? At least in the photographs, the pretty pictures with the color? Mr. Alair, I'm looking at the color handout that we got...the 8½ x 11s.

Mr. Alair: Part of the problem I'm having is...

Councilor Kindall: It's attached to, it's the back of Todd's memo.

Mr. Alair: Right but, just to be clear, there are a lot of antennas on this building and not all of them are T-Mobile. Yeah. I think the photograph that you're seeing shows where the modifications are going, how many antennas versus how many supporting structures. They're not quite towers but they're masts. I'm just trying to see if the application spells out in more detail. It doesn't.

Councilor Kindall: If you don't know, that's fine. Just...I was asked...

Mr. Alair: I'm afraid I don't know. That's the short answer. I thought I had it in the back of my head but I don't.

Councilor Kindall: Thank you for looking.

President Slifka: Mr. Alair, maybe just for the record, for those who wouldn't know, could you explain what the Siting Council is?

Mr. Alair: Sure. The Siting Council is a State agency, which regulates the location of telecommunications, among other things, telecommunications, towers throughout the State. There is a State policy and a certain degree of logic and wisdom to the notion that cell towers are

all part of a network and they have to work together and, therefore, they have to be sited so that they mesh as a network and that is, if each municipality in the State independently regulated them, it would not serve anybody's best interest as you use your cell phone and travel from town to town or through, from state to state. So it's a statewide jurisdictional issue.

President Slifka: Thank you. Anyone else? Mr. Barnes?

Councilor Barnes: Just one point of clarification. So...basically, we can't vote no unless it's a substantial change or however you described this exception. So, essentially, this is just being an FYI being presented to us to adopt. It's a process.

Mr. Alair: It's a process. It, that, that's, yes, exactly right.

Councilor Barnes: Thank you.

President Slifka: Okay. Anybody else. Okay. Any further discussion? Okay. Then all those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. And I lost my agenda, which I think is just saying that we now...there are no Petitions so we need to...can I entertain a motion to go into Executive Session for the purpose of discussing pending litigations.

ITEM #15: EXECUTIVE SESSION – 8:13 P.M.-9:20 P.M.

Councilor Cantor: So moved.

Councilor Kindall: Second.

President Slifka: All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. We are in Executive Session.

ITEM #23: ADJOURNMENT

Councilor Cantor: Motion to adjourn.

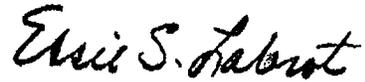
Councilor Kindall: Second.

President Slifka: All those in favor?

All: Aye.

President Slifka: Those opposed? We're adjourned. Good night.

Meeting adjourned at 9:21 p.m.



Essie S. Labrot
Town Clerk/Council Clerk

ESL/dd

APPROVED AT JULY 21, 2015, TOWN COUNCIL MEETING

ITEM NO. 9
FILE NO. 518

ALTER
PEARSON, LLC
ATTORNEYS AT LAW

RECEIVED

Town Council Meeting
June 23, 2015
Agenda No. 32

Robin Messier Pearson
rpearson@alterpearson.com

JUN 12 2015

701 Hebron Avenue
P.O. Box 1530
Glastonbury, CT 06033

TOWN CLERK/TOWN COUNCIL OFFICE
West Hartford, CT

860.652.4020 TELEPHONE
860.652.4022 FACSIMILE

June 12, 2015

Honorable Members of the West Hartford Town Council
Town of West Hartford
Town Hall
50 South Main Street
West Hartford, Connecticut 06107

RE: Amendment to Special Development District #132 for Changes to Signage Criteria and Landscaping Plan, 15 North Main Street, West Hartford, Connecticut

Dear Mayor Slifka and Honorable Members of the Town Council:

Application is hereby filed on behalf of 15 North Main Associates LLC, owner of 15 North Main Street ("Applicant"). The Applicant proposes to amend the signage criteria and landscaping plan for Special Development District #132 ("SDD #132"). The two amendments will reduce the overall signage allowed for the building but authorize one third floor sign for a Major Tenant, and place the proposed street trees in landscaped planting beds rather than directly into the sidewalks. This letter and accompanying plans and documents explain the amendment proposal more fully, and collectively constitute the application in order to do so ("Application").

OVERVIEW OF 15 NORTH MAIN STREET DEVELOPMENT:

On July 23, 2013, the Town Council approved the Applicant's special development district application to construct an office building of approximately 18,100 square feet in size at the corner of North Main Street and Brace Road. The three story building underwent extensive design review regarding its placement on the site, exterior treatment and a comprehensive sign analysis regarding size, type, location and lighting. Subsequent to approval, the two lots at 15 and 17 North Main Street were consolidated through a lot line modification and lot consolidation approval which also conveyed out a small area at the rear of 15 North Main Street to the owner of the office structure at 14-16 Brace Road. Construction was thereafter initiated on the SDD site and is nearing completion. Tenants are expected to begin to occupy the building in the fall of this year. It is to accommodate a major tenant of the building with the best possible office situation for its business and the best possible environment in which to grow that business in West Hartford, that this amendment to the signage criteria is being sought.

FIRST AMENDMENT REQUEST: AMEND SIGNAGE CRITERIA:

Part of the SDD #132 approval included a comprehensive program for consistent design elements to be used to coordinate the various tenant and directional signage on the building. The criteria authorized relief from the signage strictures of the zoning regulations for this particular

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PEARSON, LLC
ATTORNEYS AT LAW

West Hartford Town Council
15-17 North Main Street
Zone Change, SDD Designation
June 12, 2015

location, as it provided for proper directional indicators and allowed tenant signage to be used as a design element on the building as well as advertising for the businesses on the inside.

The July 2013 approval allows for two "Anchor Tenant" signs at the third floor level, each sign 34 feet long by 2 feet tall, one to be located on both the Brace Road and North Main Street elevations. The Applicant proposed that only a tenant occupying the entire building would be considered such an "Anchor Tenant" entitled to the two, upper story building signs. The two signs that could be located on the upper level were designated as sign type E in the sign criteria, shown on plan S5 of the SDD plans.

This proposed amendment will permit a sign above the first floor for one "Major Tenant" of the building, defined as a tenant taking a minimum of one entire upper floor of the building. Instead of the two upper story signs originally allowed, only one such Major Tenant sign will be allowed and only on the Brace Road, not the North Main Street, building elevation. In consideration for this change allowing the one upper story sign for other than an Anchor Tenant, the Applicant proposes to also reduce the size of the type E sign to 17 feet in length by 2 feet in height. Further, the opportunity to allow a future Anchor Tenant to have two, larger, upper level signs, is to be deleted entirely from the signage criteria for SDD #132.

Finally, the Applicant is mindful of the desire to balance the right amount of signage for the tenants with the amount of signage that is right for the design of the building. Securing the upper story signage is important to the Applicant and will be an attractive design element on the Brace Road façade. With occupancy by a Major Tenant, it is possible to reduce the first level signage. The existing approval allows for eight signs at the first floor level and the permitted first floor sign area is currently 144 square feet of type D signage. The Applicant proposes to instead reduce the allowed lower floor sign area to 72 square feet allowing only four of such type D signs.

SECOND AMENDMENT REQUEST: AMEND LANDSCAPING PLAN:

The approval for SDD #132 called for the installation of five street trees in the sidewalk area along the building, three on the Brace Road frontage and two on the North Main Street frontage. The trees were to be situated within five foot square metal tree grates at sidewalk grade surrounding the tree trunks. The Applicant proposes to instead locate the trees in landscaped planting beds instead of within the metal grates. The reasons for doing so are both aesthetic and practical. Perennial and seasonal under plantings will add color and interest. More importantly, the tree root balls to support the large trees proposed for the site will be a minimum of five feet in diameter and could be damaged by the concrete anchors needed to support the metal grates.

West Hartford Town Council
15-17 North Main Street
Zone Change, SDD Designation
June 12, 2015

The larger area afforded by the plant bed will provide more room for tree root growth and long term vitality.

PURPOSE AND COMPLIANCE WITH POCD:

This reinvestment in the SDD site is consistent with the purpose of West Hartford's special development district regulation "to permit and encourage variety and flexibility in land development that will be in harmony with the objectives of the Comprehensive Plan for the Town's development."

FINDINGS:

The requested modifications to the approved landscaping plans and the proposed signage design with its limitation on upper story signage for SDD #132, is deemed appropriate for the following reasons:

1. The proposed changes are in harmony with the overall objectives of the Comprehensive Plan as they will continue to support the approved office-type uses and will enhance the appearance of the premises, and the commercial area in general. In keeping with the goals of the Comprehensive Plan, the proposed new building, site improvements and coordinated signage constitute reinvestment in 15 North Main Street, and as a result, in the community;
2. Because of the extra scrutiny imposed on the design elements as a result of the special development district review process, SDD #132 will continue to be superior to a zoning approval possible under the regular standards of the Town's Zoning Code, and the requested amendments will benefit the design and use of the premises;
3. The proposed improvements, allowing signage for a Major, rather than an Anchor tenant on the upper story and a more hospitable tree bed design, will clearly be in harmony with the existing development of adjacent properties, as upper story signage was already approved as were the number and location of the street trees. There will be no deleterious change in the character of the area as a result of these improvements. There is no reason to believe that the improvements will be detrimental to this status quo or to the permitted development of adjacent residential or commercial properties; and

ALTER
PEARSON, LLC
ATTORNEYS AT LAW

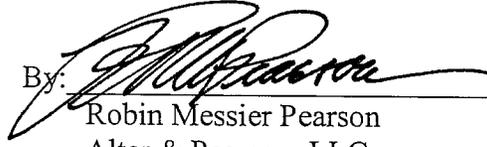
West Hartford Town Council
15-17 North Main Street
Zone Change, SDD Designation
June 12, 2015

4. The total density of development in terms of floor area and land coverage is not greater than that permitted in the RO district in which the premises is located.

The Proposed Ordinance, application fee and information required pursuant to Section 177-44 of the Zoning Ordinance, are enclosed. In conformance with Zoning Code § 177-44C(2)(f), please accept this Application and schedule it for a public hearing.

Respectfully submitted,

15 NORTH MAIN ASSOCIATES LLC

By: 

Robin Messier Pearson
Alter & Pearson, LLC
Their Attorneys and Authorized Agent

List of Enclosures:

- (a) Application letter from owner of Premises, CGG Realty Partners LLC;
- (b) Description of Premises (Property Description);
- (c) Proposed Ordinance;
- (d) Affidavit of Interest;
- (e) Description of Proposed Uses;
- (f) Statement by the Director of the West Hartford-Bloomfield Health District dated May 16, 2013;
- (g) Letter to owners within 300' of property, dated June 12, 2015, with mailing list;
- (h) Approval letter SDD #132 with Conditions of Approval;
- (i) Application fee by check made payable to the Town of West Hartford; and
- (g) Plans entitled: "Amendment to Special Development District #132 15 North Main Street West Hartford, Connecticut 06107, Developer: The Casle Corporation 200 Fisher Drive Avon, Connecticut, Owner: 15 North Main Associates LLC c/o The Casle Corporation 200 Fisher Drive Avon, CT 06001, Lot# F9/3836/15 F9/3836/17, Project: 2052, Scale: 1"=10', Date: 05/20/2013", consisting of eight sheets including the cover sheet revised to June 12, 2015.

(a)

Owner's Application Letter Per Code §177-44C(1)(a)

June 11, 2015

Honorable Members, West Hartford Town Council
Town of West Hartford
50 South Main Street
West Hartford, CT 06107

**RE: Amendment to Special Development District #132 for Changes to Signage
Criteria and Landscaping Plan, 15 North Main Street, West Hartford,
Connecticut**

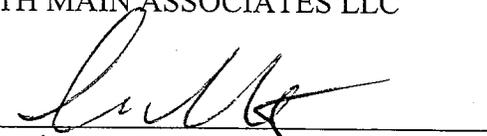
Dear Mayor and Members of the Town Council:

15 North Main Associates LLC is the owner in fee of 15 North Main Street, West Hartford, Connecticut for which approval of Special Development District #132 to allow construction of an office building on the property was granted on July 23, 2013. North Main Associates LLC now seeks to amend Special Development District #132 to allow changes to the signage criteria and landscaping plan in accord with the application documents and plans to which this letter is appended as an exhibit.

This letter is provided to indicate this owner's consent to and participation in, the filing and processing of said application.

Respectfully submitted,

NORTH MAIN ASSOCIATES LLC

By: 
Christopher G. Gent, Member
Duly authorized

(b)

Property Description

All that certain piece or parcel of land, together with all buildings and improvements thereon and appurtenances thereto, situated on the westerly side of North Main Street and the northerly side of Brace Road, in the Town of West Hartford, County of Hartford, State of Connecticut being shown as "CONSOLIDATED & MODIFIED AREA 15 North Main Street 28,752 sq.ft. or 0.660 ac." on a certain map or plan entitled:

"PROPERTY/PARCEL CONSOLIDATION SURVEY PROPERTY OF CGG REALTY PARTNERS, LLC 15 & 17 NORTH MAIN STREET PROPERTY / PROPERTY LINE MODIFICATION SURVEY PROPERTY OF CGG REALTY PARTNERS, LLC & LOUIS RISCASSI 15 & 17 NORTH MAIN STREET / 14-16 BRACE ROAD WEST HARTFORD, CONNECTICUT" prepared by HODGE, LLC PROFESSIONAL LAND SURVEYORS & CIVIL ENGINEERS 1783 FARMINGTON AVENUE, UNIONVILLE, CT 06085 TEL: 860.673.0444 FAX: 860.675.7429 WWW.HODGELLC.COM, DRAWN BY: KRG, CHECKED BY: AH, DATE: 04-28-2013, SCALE: 1"=20', PROJECT: 112-22, DRAWING: 1 of 1, Revised to 06-2013,

which map or plan is on file in the Town Clerk's Office in the Town of West Hartford, Map #9176, to which reference may be had for a more particular description thereof.

Said piece or parcel of land is more particularly bounded and described as follows:

BEGINNING at a pin in the westerly street line of North Main Street, which pin marks the northeasterly corner of the herein-described piece or parcel or land;

THENCE running S01°33'06"E along the westerly street line of North Main Street, a distance of 75.00 feet to a point, as shown on said map;

THENCE running S01°33'06"E along the westerly street line of North Main Street, a distance of 77.08 feet to a point, as shown on said map;

THENCE running southwesterly along the arc of a curve which has a radius of 25.00 feet, along the street line intersection of North Main Street and Brace Road, a distance of 37.11 feet to a point, as shown on said map;

THENCE running S83°29'16"W along the northerly street line of Brace Road, a distance of 122.82 feet to a pin, as shown on said map;

THENCE running N06°26'10"W along land now or formerly of Louis Riscassi, a distance of 25.47 feet to a point, as shown on said map;

(c)

Proposed Ordinance

**An Ordinance Amending the
Zoning Regulations of the Town of West Hartford**

BE IT ORDAINED BY THE TOWN COUNCIL OF WEST HARTFORD:

That the boundaries and districts shown on the Building Zone Map entitled “REVISED ZONING MAP, TOWN OF WEST HARTFORD, CONNECTICUT”, which map is on file in the Town Clerk’s Office of the Town of West Hartford, Connecticut, be and is hereby amended as follows:

The zoning district designation for 15North Main Street more particularly described below and currently zoned Residence-Office District (RO) and special development district #132, is hereby amended pursuant to the provisions of Section 177-44 of the Code of West Hartford, Connecticut, all in accordance with a set of plans entitled “Zone Change from RO to BC and Special Development District 15 North Main Street 15 and 17 North Main Street West Hartford, Connecticut 06107, DEVELOPER: THE CASLE CORPORATION 200 FISHER DRIVE AVON, CONNECTICUT, OWNER: 15 North Main Street Associates LLC c/o The Casle Corporation 200 Fisher Drive Avon, CT 06001, Lot# F9/3836/15 F9/3836/17, Project: 2052, Scale: 1”=10’, Date: 05/20/2013” per the cover sheet, Drawing No. L-1, which set of plans consists of thirty –nine (39) sheets, to allow construction of a new 18,500 +/- square foot mixed-use office building, accommodating both general and professional office uses including medical, as those plans were recorded on the land records of the Town of West Hartford and now to be amended in accord with plans to amend the signage allowances and landscaping as approved, in accord with plans entitled “Amendment to Special Development District #132 15North Main Street West Hartford, Connecticut 06107, Developer: The Casle Corporation 200 Fisher Drive Avon, Connecticut, Owner: 15 North Main Associates LLC c/o The Casle Corporation 200 Fisher Drive Avon, CT 06001, Lot# F9/3836/15 F9/3836/17, Project: 2052, Scale: 1”=10’, Date: 05/20/2013”, consisting of eight sheets including the cover sheet revised to June 12, 2015, and filed with this Application as those plans may be changed, approved by the West Hartford Town Council and filed on the West Hartford Land Records.

The property for which this special development district amendment is proposed is 15 North Main Street, more particularly bounded and described below, with reference being made to a map or plan entitled “PROPERTY/PARCEL CONSOLIDATION SURVEY PROPERTY OF CGG REALTY PARTNERS, LLC 15 & 17 NORTH MAIN STREET PROPERTY / PROPERTY LINE MODIFICATION SURVEY PROPERTY OF CGG REALTY PARTNERS, LLC& LOUIS RISCASSI 15 & 17 NORTH MAIN STREET / 14-16 BRACE ROAD WEST HARTFORD, CONNECTICUT” prepared by HODGE, LLC PROFESSIONAL LAND SURVEYORS & CIVIL ENGINEERS 1783 FARMINGTON AVENUE, UNIONVILLE, CT 06085 TEL: 860.673.0444 FAX: 860.675.7429 WWW.HODGELLC.COM, DRAWN BY: KRG, CHECKED BY: AH, DATE: 04-28-2013, SCALE: 1”=20’, PROJECT: 112-22, DRAWING: 1 of 1, Revised to 06-2013,

which map or plan is on file in the Town Clerk's Office in the Town of West Hartford, Map #9176, to which reference may be had for a more particular description thereof

Said piece or parcel of land is more particularly bounded and described as follows:

BEGINNING at a pin in the westerly street line of North Main Street, which pin marks the northeasterly corner of the herein-described piece or parcel or land;

THENCE running $S01^{\circ}33'06''E$ along the westerly street line of North Main Street, a distance of 75.00 feet to a point, as shown on said map;

THENCE running $S01^{\circ}33'06''E$ along the westerly street line of North Main Street, a distance of 77.08 feet to a point, as shown on said map;

THENCE running southwesterly along the arc of a curve which has a radius of 25.00 feet, along the street line intersection of North Main Street and Brace Road, a distance of 37.11 feet to a point, as shown on said map;

THENCE running $S83^{\circ}29'16''W$ along the northerly street line of Brace Road, a distance of 122.82 feet to a pin, as shown on said map;

THENCE running $N06^{\circ}26'10''W$ along land now or formerly of Louis Riscassi, a distance of 25.47 feet to a point, as shown on said map;

THENCE running $N83^{\circ}33'50''E$ along the land to be conveyed to Louis Riscassi titled "AREA TO BE CONVEYED TO #14-16 Brace Road 358sq.ft. or .008ac." a distance of 4.85 feet to a point, as shown on said map;

THENCE running $N06^{\circ}26'10''W$ along the land to be conveyed to Louis Riscassi titled "AREA TO BE CONVEYED TO #14-16 Brace Road 358sq.ft. or .008ac." a distance of 73.79 feet to a point, as shown on said map;

THENCE running $S83^{\circ}21'02''W$ along the land to be conveyed to Louis Riscassi titled "AREA TO BE CONVEYED TO #14-16 Brace Road 358sq.ft. or .008ac." a distance of 4.85 feet to a pin, as shown on said map;

THENCE running $S84^{\circ}49'05''W$ along land now or formerly of Louis Riscassi, a distance of 65.82 feet to a point, as shown on said map;

THENCE running $N08^{\circ}56'16''W$ along land now or formerly of Louis Riscassi, a distance of 51.83 feet to a point, as shown on said map;

THENCE running $N78^{\circ}02'58''E$ along land now or formerly of 21 North Main, LLC, a distance of 229.77 feet to a pin and place of beginning, as shown on said map.

(d)

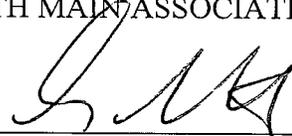
Affidavit of Interest

The undersigned being duly sworn hereby deposes and says that to the best of its ability:

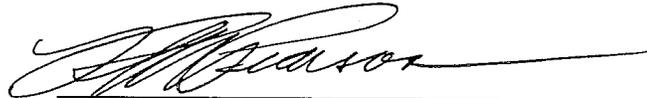
The names and addresses of any persons, firms, or corporations having a direct or indirect interest in a personal or financial sense in the request by 15 North Main Associates LLC to amend Special Development District #132 at 15 North Main Street, West Hartford, Connecticut to modify the approved signage criteria and landscaping plan, all as set forth in the documents and plans filed with this application, are as follows:

1. 15 North Main Associates LLC, owner and developer, with a business and mailing address c/o the Casle Corporation, 200 Fisher Drive, Avon, CT 06001. The Secretary of State records indicate that David W. Sessions is a member of 15 North Main Associates LLC, with a business address also c/o the Casle Corporation, 200 Fisher Drive, Avon, CT 06001 and Christopher G. Gent is a member, with a business address of The Gent Financial Group, 15 North Main Street, West Hartford, CT 06107.

15 NORTH MAIN ASSOCIATES LLC

By: 
Christopher G. Gent, Member
Duly authorized

Subscribed and sworn before me this 12th day of June, 2015.



Commissioner of the Superior Court
Notary Public
~~My Commission Expires:~~

(e)

Description of Proposed Use

The Applicant proposes to amend the existing Special Development District #132 to allow for changes to the sign criteria for Major Tenant signage and make minor changes to the landscaping plan, all with regard to the previously approved office building at the corner of North Main Street and Brace Road, West Hartford.

No noise, vibration, radiation, odor or dust, smoke, gas fumes, or other atmospheric pollution is expected to be produced from the operation and maintenance of the office building and related parking area, other than customarily generated from such uses.

Enclosure (f)

WHBHD



May 16, 2013

Robin Pearson
Alter & Pearson, LLC
701 Hebron Avenue
P.O. Box 1530
Glastonbury, CT 06033

**Re: Sewage Disposal Adequacy
15-17 North Main Street
West Hartford, CT**

Dear Attorney Pearson,

The sanitary sewer line that services the above-referenced property appears adequate under normal conditions to accept the peak flow expected to result from the proposed use of this property described in your May 16, 2013 correspondence to this office.

It is our understanding the property contains two buildings totaling 16,500 square feet of mixed use office space and both are connected into MDC potable water and sewer lines. This application is to demolish the existing buildings and construct one new building of 18,500 square feet for mixed use office space and a small branch bank. This represents a total expansion of about 11%. Further, the proposal shall be in accordance to the submitted floor identified as sheet L-5 project number 2052 dated 5/20/2013.

Contingent upon an acceptable sewer discharge plan by the MDC and an acceptable storm water discharge plan by the Town Engineer, please consider this letter as our statement of adequacy under Section 177-44. C.(1)(e) of the Code of the Town of West Hartford.

Sincerely,

A handwritten signature in black ink, appearing to read 'S. Huleatt', with a horizontal line extending to the right.

Steven J. Huleatt, MPH, RS
Director of Health

Cc: Todd Dumais
Cathy Dorau

West Hartford-Bloomfield Health District
693 Bloomfield Avenue, Suite 200, Bloomfield, CT 06002
(860) 561-7595 • Fax (860) 561-7918

Enclosure(g)

LADA, P.C.

Land Planners

Land Development Consulting, Site Planning, Landscape Architects, Planners, Corridor Studies, Visual Assessment, Environmental Impact Statements, Erosion Control Specialists, Streetscapes, Recreation, and Master Planning

June 12, 2015

Land Owner Within 300' of 15 North Main Street

In July of 2103, the Town Council of West Hartford approved Special Development District # 132 for 15 and 17 North Main Street. Construction has been in process for the new office building with an address of 15 North Main Street. The building and site construction are nearing completion with tenants expected to begin to occupy the building in the fall of this year. The property owner 15 North Main Associates LLC is filing an application to amend the Special development District. This note is to apprise you of this pending request and to offer to respond to questions you might have.

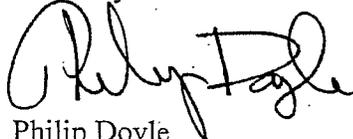
Two amendments are sought.

First, the July 2103 approval allows two "Anchor Tenant" signs at the third floor level, each sign 34' long by 2' tall, if one tenant occupies the entire building. The signs would face North Main Street and Brace Road. The applicant is requesting the approval be amended to instead allow only one sign on the third floor, 17' long by 2' tall for a Major Tenant who occupies at least one entire floor of the building. The proposal also reduces the allowed sign area on the first floor by 50% from 144 sf to 72 sf in consideration for the Major Tenant sign on the upper level.

Second, the applicant seeks to locate the proposed street trees along Brace Road and North Main Street in landscaped planting beds instead of directly in the sidewalk beneath metal tree grates. We believe the trees, which will be sizeable at the time of planting, will be more likely to flourish with the additional room provided in the landscaped beds.

Should you have questions about either of these requests please call me, Philip Doyle, at (860) 651-4971. My email is ladapc@snet.net. I am the land planner for the project and would be happy to answer your questions.

Sincerely



Philip Doyle
Land Planner

15-17 North Main Street

Property Owners within 300'

June 12, 2015

Map/Block/Lot Account Number	Property Address	Mailing Address	Use
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***The Sites:**

F9/ 3836/ 15// 3836 1 15 0001	15 North Main Street West Hartford, CT 06107	CGG REALTY PARTNERS LLC 15 North Main Street West Hartford, CT 06107	C
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F9/ 3836/ 17// 3836 1 17 0001	17 North Main Street West Hartford, CT 06107	CGG REALTY PARTNERS LLC 15 North Main Street West Hartford, CT 06107	C
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Map/Block/Lot Account Number	Property Address	Mailing Address	
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F9/ 0161/ 15// 0161 1 15 0001	15 Arundel Avenue West Hartford, CT 06107	CARPINO, RICHARD J & MOIRA H 15 Arundel Avenue West Hartford, CT 06107	Res
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F9/ 0161/ 18// 0161 2 18 0001	18 Arundel Avenue West Hartford, CT 06107	KNOWLES, KEITH C & SALLY A 18 Arundel Avenue West Hartford, CT 06107	Res
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F9/ 0161/ 21// 0161 1 21 0001	21 Arundel Avenue West Hartford, CT 06107	GREENBERG, JONATHAN S & GLORIA PINSKY 21 Arundel Avenue West Hartford, CT 06107	Res
----------------------------------	--	---	-----

F8/ 0161/ 24// 0161 2 24 0001	24 Arundel Avenue West Hartford, CT 06107	DUVA, PAUL & DIANE W 24 Arundel Avenue West Hartford, CT 06107	Res
----------------------------------	--	--	-----

F8/ 0161/ 25// 0161 1 25 0001	25 Arundel Avenue West Hartford, CT 06107	MCGLOIN, FRANCIS & GERALDINE 25 Arundel Avenue West Hartford, CT 06107	Res
----------------------------------	--	--	-----

F8/ 0161/ 31// 0161 1 31 0001	31 Arundel Avenue West Hartford, CT 06107	WANKERL, THOMAS B 31 Arundel Avenue West Hartford, CT 06107	Res
----------------------------------	--	---	-----

F8/ 0161/ 32// 0161 2 32 0001	32 Arundel Avenue West Hartford, CT 06107	SCHEIB JACQUELINE P & JACQUELINE PENNIN 32 Arundel Avenue West Hartford, CT 06107	Res
----------------------------------	--	---	-----

F8/ 0161/ 36/ / 0161 2 36 0001	36 Arundel Avenue West Hartford, CT 06107	COLVOCORESSES, HAROLD L & ELAINE K 36 Arundel Avenue West Hartford, CT 06107	Res
F9/ 0551/ 14/ / 0551 2 14 0001	14 Brace Road West Hartford, CT 06107	RISCASSI, LOUIS 14 Brace Road West Hartford, CT 06107	C
F9/ 0551/ 20/ / 0551 2 20 0001	20 Brace Road West Hartford, CT 06107	TOWN OF WEST HARTFORD FIRE STATION #2 50 South Main Street West Hartford, CT 06107	T
F9/ 0551/ 21/ / 0551 1 21 0001	21 Brace Road West Hartford, CT 06107	SARJAC PARTNERS LLC PO Box 271763 West Hartford, CT 06127	C
F9/ 0551/ 27/ / 0551 1 27 0001	27 Brace Road West Hartford, CT 06107	PONDY ASSOCIATES C/O MIDWOOD MANAGEMENT 430 Park Avenue Suite 505 New York, NY 10022	C
F9/ 0551/ 31/ / 0551 1 31 0001	31 Brace Road West Hartford, CT 06107	CLARK PROPERTY ENTERPRISES LLC C/O Nanci Clark 1411 Woody Lane Rossville, GA 30741	C
F9/ 0551/ 36/ / 0551 2 36 0001	36 Brace Road West Hartford, CT 06107	BEVILACQUA, RICHARD G & ELENA-LEE M RITO 36 Brace Road West Hartford, CT 06107	C
F9/ 0551/ 40/ / 0551 2 40 0001	40 Brace Road West Hartford, CT 06107	JENKINS, KAREN A 40 Brace Road West Hartford, CT 06107	Res
F9/ 1891/ 946/ / 1891 2 946 0001	946 Farmington Avenue West Hartford, CT 06107	TOWN OF WEST HARTFORD 50 South Main Street West Hartford, CT 06107	T
F9/ 1891/ 962/ / 1891 2 962 0001	962 Farmington Avenue West Hartford, CT 06107	PONDY ASSOCIATES C/O MIDWOOD MANAGEMENT 430 Park Avenue Suite 505 New York, NY 10022	C
F9/ 3836/ 4/ / 3836 2 4 0001	4 North Main Street West Hartford, CT 06107	FLEET BANK BANK OF AMERICA ATTN CORPORATE REAL ESTATE 101 North Tryon Street Charlotte, NC 28255	C
F9/ 3836/ 7/ / 3836 1 7 0001	7 North Main Street West Hartford, CT 06107	SARJAC PARTNERS LLC PO Box 271763 West Hartford, CT 06127	C

F9/ 3836/ 8/ / 3836 2 8 0001	8 North Main Street West Hartford, CT 06107	S B ANDREWS COMPANY LLC C/O RLM CO 10 North Main Street West Hartford, CT 06107	C
F9/ 3836/ 18/ / 3836 2 18 0001	18 North Main Street West Hartford, CT 06107	LEXHAM WEST HARTFORD LLC & LEXHAM WESTPORT OWNER LLC 274 Riverside Avenue Penthouse Westport, CT 06880	C
F8/ 3836/ 21/ / 3836 1 21 0001	21 North Main Street West Hartford, CT 06107	21 NORTH MAIN LLC 10 Norwood Road West Hartford, CT 06117	C
F8/ 3836/ 24/ / 3836 2 24 0001	24 North Main Street West Hartford, CT 06107	24 NORTH MAIN STREET, LLC 223 Huckleberry Hill Road Avon, CT 06001	C
F8/ 3836/ 28/ / 3836 2 28 0001	28 North Main Street West Hartford, CT 06107	ROSENFELD/HOLLANDER ASSOC 28 North Main Street West Hartford, CT 06107	C
F8/ 3836/ 29/ / 3836 1 29 0001	29 North Main Street West Hartford, CT 06107	NORTH MAIN HOLDINGS LLC 29 North Main Street West Hartford, CT 06107	C
F8/ 3836/ 34/ / 3836 2 34 0001	34 North Main Street West Hartford, CT 06107	TOWN OF WEST HARTFORD OLD NORTH CEMETERY 50 South Main Street West Hartford, CT 06107	T

* The Town of West Hartford Assessor's Office indicates the property owner information for the site will not be updated until October of 2015. Per the latest mortgage for the property the correct property owner is 15 North Main Associates, LLC, 15 North Main St. West Hartford, CT 06107

Note:

Res = Residential
C = Commercial
T = Town

Enclosure (h)

TOWN COUNCIL

July 26, 2013 (Revised Letter of Approval)

Attorney Robin Messier Pearson
Alter Pearson, LLC
701 Hebron Avenue
P.O. Box 1530
Glastonbury, CT 06033

Dear Attorney Pearson:

The Town Council at its meeting held on July 23, 2013 approved as amended and subject to certain conditions, the Application on behalf of CGG Realty Partners LLC, owner of 15 and 17 North Main Street, abutting properties on the west side of North Main Street and 15 North Main Associates LLC, the intended developer ("Applicants") to remove the two office buildings located on the properties to construct a single, mixed-use office building accommodating professional office uses including medical on the combined properties. The redevelopment property will be known as 15 North Main Street. Request to rezone all of 17 North Main Street and most of 15 North Main Street from the current Residence-Office (RO) designation to Central Business District (BC) was withdrawn by the Applicant and the remaining request to designate the rezoned area a special development district was approved.

Please note that approval is contingent upon compliance with Section 177-44C(6) of the Code of Ordinances of the Town of West Hartford.

Sincerely,



Essie S. Labrot
Town Clerk/Council Clerk

Attachment:
Conditions of Approval

cc: Kevin M. Ahern, Chairman, Town Plan and Zoning Commission
Todd Dumais, Town Planner
Jeffrey A. Gebrian, Chairman, Design Review Advisory Committee
Mark McGovern, Director of Community Services
Joseph O'Brien, Corporation Counsel
Peter Privitera, Director of Financial Services
Ron Van Winkle, Town Manager



TOWN OF WEST HARTFORD 50 SOUTH MAIN STREET
WEST HARTFORD, CONNECTICUT 06107-2431
(860) 561-7445 FAX: (860) 561-7438
www.west-hartford.org

Printed on Recycled Paper

SDD # 132
15 North Main Street
Conditions of Approval

1. Approval of Application

The Town Council hereby finds that the proposed plan, as approved, will be:

- (a) In harmony with the overall objective of the Comprehensive Plan, as defined in Article I of this chapter.
- (b) Superior to a plan possible under the regular standards of the Town's zoning ordinances.
- (c) In harmony with the actual or permitted development of adjacent properties.

The application is hereby approved, subject, however, to the "Conditions of Approval" set forth below.

2. Conditions of Approval

A. Official Plans

Implicit in the approval of the Special Development District is the condition that the premises shall be used only in accordance with the official application materials, plans and associated exhibits related to the application as supplemented or modified by any amended plans and documents or representations submitted during the public hearing process. Any other use shall require the express approval of the Town Council in accordance with the Zoning Ordinances of the Town of West Hartford.

B. Premises Contact

The Applicant shall provide the Town Planner, from time to time, as necessary, with the name (or title) of a person and a telephone number where that person can be reached or where messages for that person may be left, to act as a liaison between the Town and the Applicant. The identity of the party and the telephone number may be changed from time to time by notice to the Town Planner. If different individuals should be contacted regarding different aspects of operations within the area of the Special Development District, multiple contact people should be designated as necessary. This information shall also be provided to any adjoining property owner requesting same.

C. Solid Waste-Operational Condition

Solid waste collection shall be the responsibility of the property owner/manager.

Solid waste collection within the Special Development District shall be permitted between 8:00 a.m. and 6:00 p.m. on weekdays and between 9:00 a.m. and 5:00 p.m. on Saturdays. Waste collection shall not be permitted on Sundays.

D. Special Site Use or Operational Requirements

1. Maintenance Plan

The Applicant shall, prior to the filing of the Special Development District on the Land Records, submit for review and approval by the Town Manager or his designee, a yearly maintenance plan for the Special Development District. Said plan shall designate the individuals responsible for establishing maintenance objectives and an ongoing schedule of maintenance activities to ensure the aesthetic quality and cleanliness of the site. The maintenance plan shall include, but not be limited to, a timetable for all required installation and maintenance activities with respect to plantings, landscaping and screening, sidewalks, lighting, signage, storage, refuse and litter control, building exteriors and other site amenities proposed in the plans. The maintenance plan shall also contain provisions dealing with snow removal from those pedestrian walkways for which the Applicant is responsible. Specifically, the snow removal plan shall call for the removal from required walkways of all snow or ice deposits so as to render those walkways safe for pedestrian passage at all times. Accumulated snow which is stored on-site shall not encroach into or damage required landscaped areas, parking spaces or vehicular travelways.

2. Landscaping and Fencing

Applicant will maintain all landscaped areas including mowing, weeding and brush removal and be responsible for replacement of plantings where necessary.

3. Site Lighting

All outdoor lighting shall be down-shielded so as to prevent glare onto adjoining properties. All lighting should be turned off no later than 10:00 p.m. except for security lighting which is triggered temporarily by motion or sound.

4. Signage

As stated by the Applicant during the hearing, none of the signage shown on the approved plans which is located above the ground floor will be installed or operated unless the entire building is leased to a single tenant.

E. Utilities to be underground

Any new electrical, telephone, cable television and other utility services shall be placed underground.

F. Computer Media Information

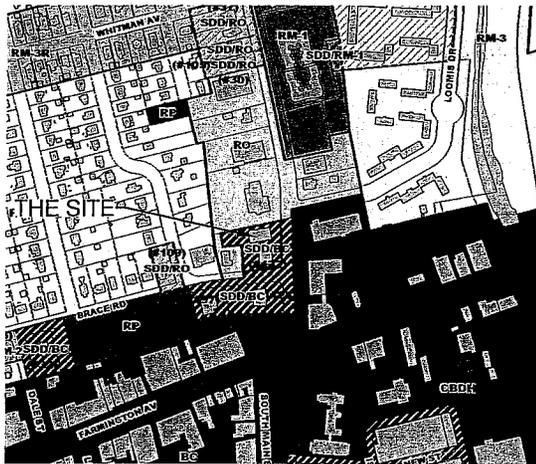
All mapping and construction plans shall be prepared in electronic format using the Connecticut Geodetic System for inclusion into the Town's Geographical Information System.

G. Final Plan Review

Implicit in the SDD approval is the requirement that the record plans and exhibits establish the minimum standard of design and improvement for this project. As specific drawings for the project are prepared, refined and detailed, the filed SDD plans and exhibits shall serve to identify the major standards for the quality of design and improvements. The Town Planner in cooperation with Town staff, including but not limited to the Fire Department and the Community Services Department, shall coordinate the final review and approval of the project design to insure compatibility and consistency with the Special Development District Plans approved by the Town Council. No building permit shall be issued and construction shall not begin until all appropriate Town Departments have reviewed and approved the plans as submitted to the Town.

H. Final Plans

Final plan submissions and supporting documents shall address the Town Council conditions of approval.



ZONING MAP
11-2007



AERIAL MAP
11-2007

GENERAL NOTES:

- ALL WORK IN PUBLIC STREETS TO MEET THE STANDARDS OF THE STATE OF CONNECTICUT D.O.T. AND OR TOWN OF WEST HARTFORD, WHICHEVER SHALL APPLY.
- CONTRACT LIMIT LINE IS COINCIDENT WITH THE PROPERTY LINE OR AS OTHERWISE SHOWN. EXTEND AS REQUIRED TO CONNECT TO UTILITIES OR OTHER IMPROVEMENTS SHOWN OFF SITE.
- THE CONTRACTOR SHALL INSTALL A CONSTRUCTION FENCE ALONG THE ENTIRE CONTRACT LIMIT LINE (E.L.L.) TO DEFINE THE EXTENT OF WORK AND TO PROTECT AREA OUTSIDE C.L.L.
- SURVEY BY HODGE, LLC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE WORK LIMITS DUE TO CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL BLENDED PROPOSED GRADES SMOOTHLY WITH EXISTING GRADES AND IMPROVEMENTS AT LIMITS OF WORK.
- ALL DISTURBED AREAS NOT OTHERWISE IMPROVED SHALL BE COVERED WITH TOPSOIL AND SEEDING TO FINISH GRADE. TOPSOIL SHALL BE INSTALLED TO A MINIMUM DEPTH OF 6".
- CONTRACTOR TO REMOVE ANY DEBRIS AND EXCESS MATERIAL OFFSITE.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT SIZE, LOCATION, DEPTH AND INVENTORY OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO COMMENCING HIS OPERATIONS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS AND CIVIL ENGINEER FOR RESOLUTION.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATION.
- ALL WALKS HAVE 1/2" PER FOOT CROSS PITCH UNLESS OTHERWISE SHOWN.
- ALL UTILITIES TO BE UNDERGROUND.
- SIGNS (BUILDING & SITE) SHALL CONFORM TO THE ZONING REGULATIONS.
- CONTRACTOR TO HOLD A PRE-CONSTRUCTION MEETING WITH CITY ENGINEER PRIOR TO START OF CONSTRUCTION TO DISCUSS EROSION CONTROL & CONSTRUCTION SEQUENCES.
- CONTRACTOR IS RESPONSIBLE FOR CLEARING SILT FROM TEMPORARY SEDIMENT TRAPS, FINAL SLOPE STABILIZATION, REPLACING TOPSOIL, AND SEEDING & MULCHING OF DETENTION BASINS PRIOR TO ANY REQUEST FOR A C.O.
- THESE PLANS INCLUDE SITE IMPROVEMENTS AND UTILITIES ALREADY CONSTRUCTED. CONTRACTOR IS RESPONSIBLE FOR DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS AND SHOULD NOTIFY THE LANDSCAPE ARCHITECT AND CIVIL ENGINEER IF ANY DISCREPANCY IS IDENTIFIED.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO SILTY WATER LEAVES THE CONSTRUCTION AREA, EXCEPT TO TEMPORARY SEDIMENT TRAPS. CONTRACTOR MUST COMPLETELY CLEAN OUT (REMOVE ALL SEDIMENT AND FLUSH OUT) FROM CATCH BASINS, PIPES, INLET AND OUTLET STRUCTURES, ETC. FROM CONSTRUCTION SITE TO DISCHARGE POINT BEFORE LEAVING SITE.
- CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING EXISTING PAVEMENT AT THE END OF EACH DAY OR MORE OFTEN AS NEEDED AND BASED ON WEATHER.
- PROJECT IS SUBJECT TO APPROVALS FROM THE CITY, AND IS SUBJECT TO INSPECTIONS THROUGHOUT CONSTRUCTION. PROJECT LANDSCAPE ARCHITECT AND ENGINEER TO REVIEW EROSION CONTROL THROUGHOUT CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING CALL BEFORE YOU DIG (800-922-4455). CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR TOUCH UP (TOPSOIL, BARKING, SEED & MULCH) OF ANY AREAS WHERE EROSION OCCURS UNTIL THE LANDSCAPE ARCHITECT RECOMMENDS FINAL OWNER ACCEPTANCE.
- SUBSTITUTIONS MUST BE APPROVED BY PROJECT LANDSCAPE ARCHITECT.

- THE ENTIRE AREA BELOW THE CONSTRUCTION SITE IS DEVELOPED. CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE THE IMPACT OF BOTH EXPECTED AND UNEXPECTED, POTENTIALLY DAMAGING, OR OTHER UNUSUAL WEATHER CONDITIONS. CLEAN UP IS THE RESPONSIBILITY OF THE CONTRACTOR. ANTI-CORROSION OF STORMS SHALL REQUIRE CLEANUP EFFORTS, ADDITIONAL HAVESALS, SILT FENCE, SODCLOS, AND EROSION BLANKET SHALL BE MAINTAINED ON-SITE TO RESPOND TO UNUSUAL WEATHER AT THE CONTRACTORS RISK.
- FINAL SLOPES MUST RECEIVE PERMANENT COVER WITHIN 48 HOURS. IF COVER TAKES LONGER THAN 1 DAY TO INSTALL, EXPOSED SOIL SHALL BE COVERED WITH TACIFER VIA HYDROSEEDER, REAPPLY IF ANY AREAS ARE THEN DISTURBED.
- WHERE PERMANENT COVER IS GRASS, HYDROSEED AND LIME SEED MIX AS SPECIFIED. IF EROSION (TIN) IS NOT USED CONTRACTOR SHALL PROVIDE A SECOND APPLICATION IN ALL AREAS OF LIMITED GROWTH (AS DETERMINED BY LANDSCAPE ARCHITECT) WITHIN 10 DAYS IS REQUIRED.
- INTERMEDIATE RIPRAP (WITH FABRIC) ALL SWALES OVER 6".
- WHERE SLOPES ARE LABELED: 0:1 SLOPE = HORIZONTAL:VERTICAL.
- CONCRETE WASHOUT TO BE DONE ONLY AT LOCATION PROVIDED BY OWNER.
- THE PROPERTY CORNERS WILL BE MARKED WITH PINS PRIOR TO CERTIFICATE OF OCCUPANCY.
- ALL ON-SITE CONSTRUCTION WILL BE CONTAINED ON THE PROPERTY AND THE CONTRACTOR WILL MAINTAIN ALL APPROPRIATE PUBLIC ACCESS AND PROTECTION BARRIERS NECESSARY AS REQUIRED BY THE TOWN, ANY OTHER GOVERNMENTAL BODY WITH PERMIT OR REVIEW AUTHORITY AND THE PROPERTY CONSTRUCTION INSURANCE COMPANY. IN THIS INSTANCE, TOWN SIDEWALKS ARE BEING REPLACED. ALL REQUIRED PEDESTRIAN AND VEHICULAR PROTECTIONS WILL BE MAINTAINED AS WORK IS IN PROGRESS. AT TIMES, THIS MAY INCLUDE POLICE PROTECTION OF WORK.
- TRASH WILL BE REMOVED PRIOR TO OR AFTER BUSINESS HOURS.

DRAINAGE NOTES:

- CONTRACTOR SHALL BACKFILL WITH APPROVED SAND OR GRAVEL OVER TOP OF PIPE TO BOTTOM OF REQUIRED BASE OF PAVEMENT WHEN STORM LINES CROSS DRIVEWAYS AND PARKINGS.
- STONE RIP RAP SHALL CONSIST OF SOUND, TOUGH, DURABLE ROCK, FREE FROM DECOMPOSED STONE OR OTHER DEFECTS IMPAIRING ITS DURABILITY. SIZE OF MATERIAL SHALL CONFORM TO GRADATION FOR INTERMEDIATE RIP RAP AS SPECIFIED BY CONNECTICUT STATE D.O.T.
- FLARED END SECTIONS SHALL BE INSTALLED AT ALL OPEN ENDS OF STORM LINES UNLESS OTHERWISE SHOWN.
- ALL GRATES, COVERS, AND DRAINAGE STRUCTURES SHALL MEET THE STATE CONNECTICUT D.O.T. REQUIREMENTS FOR MATERIAL AND CONSTRUCTION METHODS.
- DEWATERING OF EXCAVATIONS IS THE CONTRACTORS RESPONSIBILITY. DEWATERING DISCHARGES MUST BE FILTERED AND CLEANED PRIOR TO DISCHARGE INTO THE EXISTING STORM WATER SYSTEM. DEWATERING OVER THE BANK IS NOT PERMITTED.
- A DRAINAGE SYSTEM OPERATION AND MAINTENANCE MANUAL IS SHOWN ON SHEET L-5.A.
- THE PROPERTY OWNER IS REQUIRED TO MAINTAIN THE DRAINAGE SYSTEM ON THE PROPERTY INCLUDING THE PIPED CONNECTION INTO THE PUBLIC ROAD RIGHT-OF-WAY.
- THE PROPERTY OWNER WILL HOLD THE TOWN OF WEST HARTFORD HARMLESS IF FLOODING OCCURS ON THE PROPERTY.
- TO REDUCE THE POSSIBILITY OF BASEMENT FLOODING DUE TO SURCHARGING ALL FOOTING DRAINS SHALL BE PUMPED TO AN ELEVATION HIGHER THAN THE ROAD BEFORE OUTLETING TO THE STORM SEWER.
- SHEET L-5.3 INCLUDES AN OPERATION AND MAINTENANCE PLAN.

AS APPROVED 2013

SITE DATA TABLE

15 North Main Street
Lot# FW 3630 15

Existing Zone: RO
Site Size: 14,449± SF or 0.33 AC.
Existing Building: 6,500± SF Total Leasable Area
Existing Uses: Mixed general and medical office
Existing Parking: 23 Parking Spaces @ 9' x 10' with 2' side as previously approved.

17 North Main Street
Lot# FW 3630 17

Existing Zone: RO
Site Size: 14,203± SF or 0.326 AC
Existing Building: 10,000± SF Leasable Area
Existing Uses: General Office
Existing Parking: 20 Parking Spaces @ 9' x 17' average size as constructed

Proposed Project: Combine Lots 15 & 17 into one property of 28,732± SF or 0.66 AC
Proposed Use: Professional Office
Proposed Building: Three (3) Story - 16,500± SF building total
Proposed Parking: 59 spaces
Allowed Floor Area Ratio: 1.25 or 28,732 SF = 35,940± SF allowed
Proposed Floor Area Ratio: 0.84 or 18,500± SF
Maximum Lot Coverage Allowed: 11.50% SF
Maximum Lot Coverage Shown: 8.200± SF
Required Front Yard: Building Line
Proposed Front Yard: SDD Approval sought for Streetscape Building Line @ 1'
Side and Rear Yard Required: 1/2 Building Height or 42' ± x 2 ± 21.5'
Proposed Side and Rear Yards: 81' and 62' respectively

Proposed: Parking / Loading, made up as per SDD
a. Parking: As per §177-26(3) - spaces will be within 20' of street
b. Parking: As per §177-26(3) - spaces and site size
c. Loading: As per §177-26(1) and §177-26(2) - Required 1 Loading Space
d. Parking Number: As per §177-26(1)

Required Parking Spaces - Offices: 1/250 / Net: 59 total required
Medical: 1 per doctor, 1 per employee, 2 per exam room
Bank: 1/150 / Net: 6 required
Proposed Parking: 59 Spaces
Proposed Parking Spaces- Offices: 2.84 per 1,000± SF
Medical: 3.2 per 1,000± SF
Bank: 1/150 Net: 6
Mixed use of Office, Medical and/or Bank for a maximum allowed deficit of 8 spaces

Screening:
Per Zoning Table: §175-5 Side & Rear lines with parking lots adjacent to a residential line require Type A screening. Abutment wall and north and south office uses in RD Zones with no existing screening. A screen fence is proposed on the north to provide complete screening. However, the screen strip is not 2' wide.

Building Height:
Height allowed: 3 stories 42'
Height proposed: 3 stories 42.8' (SDD Approval Required and Granted)
Height to parapet 45' (SDD Approval Required and Granted)

Parking lot lighting is presently provided via flood lights visible from neighboring property.

Proposed parking lot lighting will be provided via shielded down lights per §177-25.

§177-29 Drainage Water: Plans and reports submitted propose to reduce peak discharges from site.

§177-29 Erosion Control Plan is submitted for approval.

DATA TABLE REVISIONS 06.12.15

SIGNS: REQUEST FOR MAJOR TENANT SIGN ON
UPPER FLOOR, MAX. SIZE
2x17' = 34 SF

LOWER FLOOR SIGNAGE,
TOTAL OF 4 SIGNS @
18 SF EACH (12x1.5')



LADA, P.C.
Land Planners
15 North Main Street, Suite 200
West Hartford, CT 06107
Tel: 860-234-1111

JWM Architectural Group

CLARK ENGINEERING
15 North Main Street, Suite 200
West Hartford, CT 06107
Tel: 860-234-1111

HODGE LLC

ALTER PEARSON, LLC
VITROINISTS AT LAW

ARTN www.artn.com
66-345-0011 | 800-542-4778
Tel: 860-234-1111
27 Steven Drive, Moorfield, CT 06025

15 North Main Associates LLC
c/o The Casale Corporation
200 Fisher Drive
Avon, CT 06001
Lot # FW 3630 15
Tel: 860-234-1111

THE CASALE CORPORATION
ARCHITECTS
DESIGN - BUILDERS

CASLE

Date	Description	By
06/15/15	SDD Revisions	J
10/15/15	Land Process	J
06/24/15	DMG Comments	J

Site Data Sheet
Amendment to Special Development District # 132
15 North Main Street
West Hartford, Connecticut 06107

Project: 2012
Scale: 1"=10'
Date: 05/20/13
Drawing No.:
Checked by: PED
Drawing No.:
L-1A

Amendment to special development district #02
15 North Main St
15 and 17 North Main Street
West Hartford Ct

15 North Main Associates LLC
Special Development Corporation
200 Federal Drive
Avon, CT 06001
Lic # FA-336615
Reg-336617

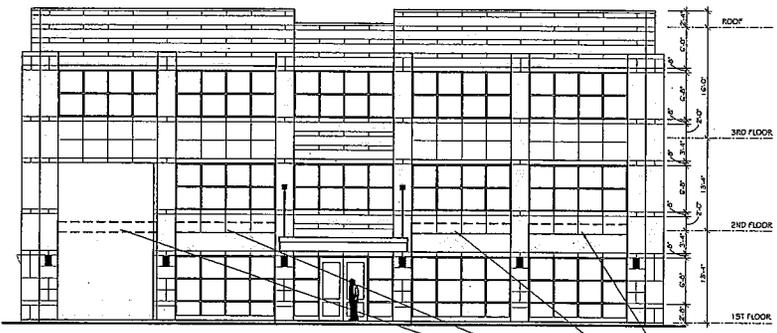
DATE 6-11-2015
SCALE 1/4" = 1'-0"
DRAWN BY JWM
PROJECT 1-033

A-S1

JWM
Architectural
Group

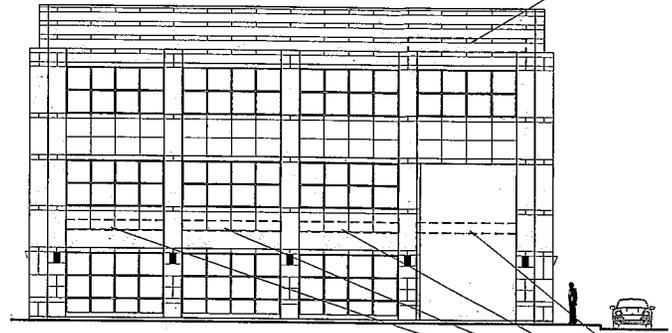
AMENDMENT TO BUILDING SIGNAGE

NOTE: TYPE E SIGN PER APPROVAL OF JULY 13, 2013 SIGN SHEET 95 5/20/13 LIMITED IN LENGTH TO 17' MAX.
SIGN FOR A MAJOR TENANT TAKING A MINIMUM OF ONE ENTIRE FLOOR ONE SUCH SIGN ALLOWED PER BUILDING. TOTAL SIGN AREA 2X17'=34 S.F.



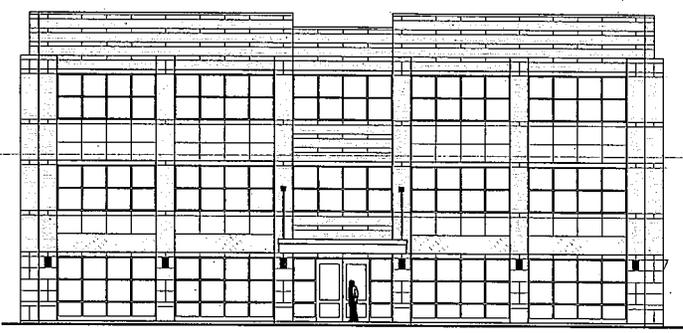
1 EAST ELEVATION
1/8" = 1'-0"

NOTE: 4 POTENTIAL TENANT SIGN LOCATION ON EAST ELEVATION (LETTERS NOT TO EXCEED 1.5')
SIGNS ALLOWED EAST ELEVATION NOT TO EXCEED 18 S.F. PER SIGN OR 36 S.F. TOTAL
SIGN TYPE D PER FILED MYLARS DRAWING SIGN 3 DATED 10/15/13



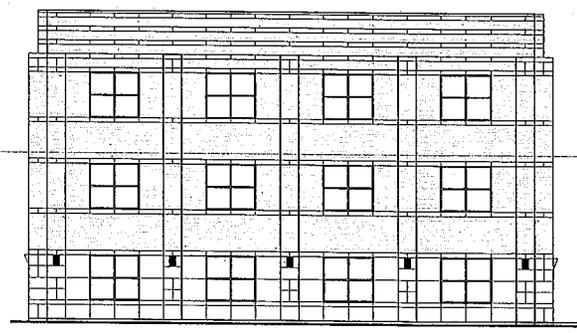
2 SOUTH ELEVATION
1/8" = 1'-0"

NOTE: 4 POTENTIAL TENANT SIGN LOCATION ON SOUTH ELEVATION (LETTERS NOT TO EXCEED 1.5')
SIGNS ALLOWED SOUTH ELEVATION NOT TO EXCEED 18 S.F. PER SIGN OR 36 S.F. TOTAL
SIGN TYPE D PER FILED MYLARS DRAWING SIGN 3 DATED 10/15/13



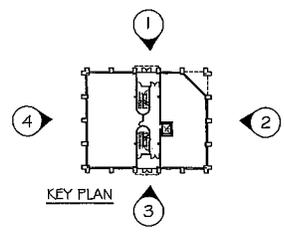
3 WEST ELEVATION
1/8" = 1'-0"

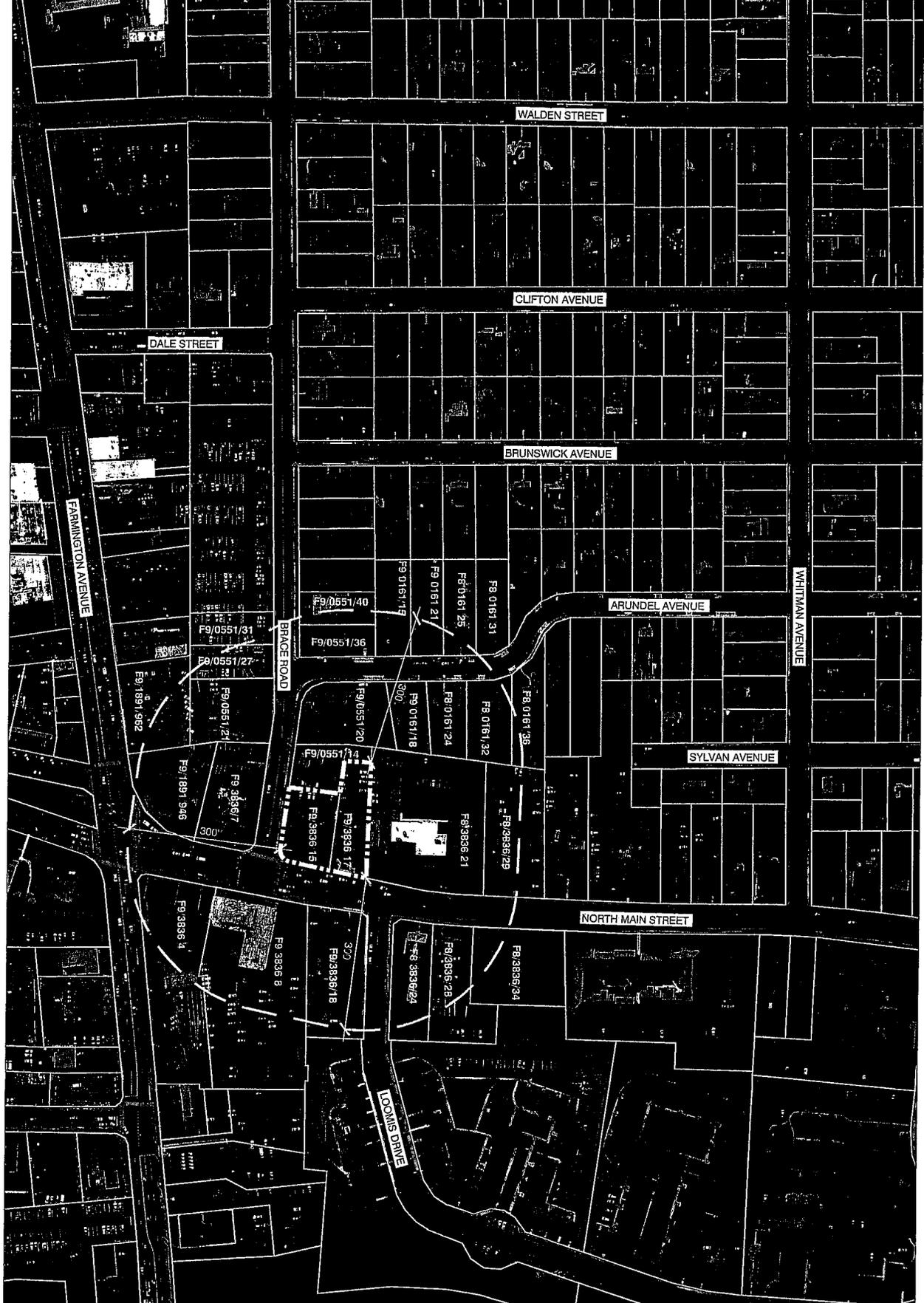
NOTE: SIGNS PER JULY 13, 2013 TOWN COUNCIL APPROVED SHEET 5E3 OF 5/20/13-NO CHANGE
AS SHOWN ON FILED MYLARS DRAWING SIGN 3 DATED 10/15/13



4 NORTH ELEVATION
1/8" = 1'-0"

NOTE: NO AMENDMENT TO SIGNAGE THIS ELEVATION





Property Owners within 300'
 Amendment to Special Development District #132
15 North Main Street
 West Hartford, Connecticut 06107

OWNER: **CASLE**
 THE CASTLE CORPORATION
 200 FATHER DRIVE
 AVON, CONNECTICUT

OWNER: 16 North Main Associates LLC
 c/o The Castle Corporation
 200 Father Drive
 Avon, CT 06001

OWNER: Lot # FV 3839 15
 FV 3839 17

OWNER: ALTER PEARSON, LLC
 1000 NORTH AVENUE, SUITE 200
 WEST HARTFORD, CT 06107

OWNER: HODGE LLC
 1000 NORTH AVENUE, SUITE 200
 WEST HARTFORD, CT 06107

OWNER: JHM Architectural Group
 1000 NORTH AVENUE, SUITE 200
 WEST HARTFORD, CT 06107

OWNER: CLARK ENGINEERING
 1000 NORTH AVENUE, SUITE 200
 WEST HARTFORD, CT 06107

OWNER: LADA, P.C.
 1000 NORTH AVENUE, SUITE 200
 WEST HARTFORD, CT 06107

OWNER: PO-1

DEPARTMENT OF
COMMUNITY SERVICES

June 11, 2015

Attachment B

Town Council Meeting
June 23, 2015
Agenda No. 32

ITEM NO. 21
FILE NO. 905

To: Town Council

From: Todd Dumais, Town Planner 

**SUBJECT: 345 NORTH MAIN STREET (AKA 333 NORTH MAIN STREET)
SPECIAL DEVELOPMENT DISTRICT ADMINISTRATIVE
AMENDMENT (SDD #127-R1-15)**

I have received an administrative amendment request from Simon Brighenti, Esq. on behalf of T-Mobile Northeast, LLC for revisions to the approved Special Development District plan (SDD #127) located at 333 North Main Street. The request is for minor modifications to the existing wireless communications facility. Modifications include three (3) new custom cantilevered antenna mounts.

Attached are the narrative and supporting plans which further explain the proposal.

The requested modifications fall within the approval powers contained in **Section 177-44C (9)** of the Code of Ordinances. This section allows the Town Planner to approve minor adjustments to limited plan elements of an SDD, in this instance, to **Section 177-44C (9)(e)** the location of accessory uses and structures.

It is my opinion that the plan, as modified, is in accordance with the purpose of the original SDD approved by the Town Council.

The purpose of the memo is to notify the Town Council of my intention to approve the requested modifications. This notice of approval is given with the understanding that such action will not be effective until the day following the next regular meeting of the Town Council and that such notice of approval is given 10 days prior to such Council meeting. This matter would therefore appear as a regular agenda item on the Regular Town Council Meeting of **Tuesday, June 23, 2015**. It is understood that the Town Council may reject my approval decision and direct that the modifications requested be considered under the provisions of **Section 177-44C (9)** which would require a complete application for amendment and requisite public hearing.

C: Ronald Van Winkle, Town Manager
Joseph O'Brien, Corporation Counsel
Mark McGovern, Director of Community Services
Patrick Alair, Corporation Counsel
Simon Brighenti, Esq.
Subject SDD File

SD IPZ SDD NorthMainSt333_SDD#127_R1_15_June15

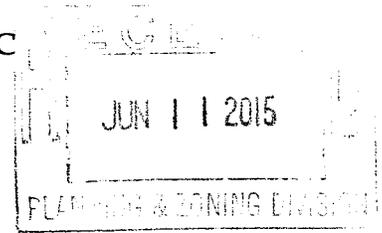


TOWN OF WEST HARTFORD
50 SOUTH MAIN STREET
WEST HARTFORD, CONNECTICUT 06107-2485
(860) 561-7555 FAX: (860) 561-7504
<http://www.westhartford.org>

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O'CONNELL, ATTMORE & MORRIS, LLC

ATTORNEYS AT LAW
71 PARK AVENUE, SUITE C
WEST SPRINGFIELD, MASSACHUSETTS 01089
TELEPHONE (413) 747-1773
FACSIMILE (413) 746-1529
WWW.OAMLAW.COM



OTHER OFFICES

280 TRUMBULL STREET, 23RD FLOOR, HARTFORD, CT 06103
P.O. BOX 296, 34 EAST MAIN STREET, CENTRAL VILLAGE, CT 06332
50 NEWTOWN ROAD, DANBURY, CT 06810

SIMON J. BRIGHENTI, JR., ESQ.
E-Mail: SBRIGHENTI@OAMLAW.COM

ADMITTED IN MASSACHUSETTS, CONNECTICUT AND RHODE ISLAND

June 10, 2015

Todd Dumais
Town Planner
West Hartford Town Hall
50 South Main Street
West Hartford, CT 06107

RE: T-Mobile Installation 345 North Main Street
Administrative Amendment to the Special District Plan Approval for the modification of an
existing Wireless Communications Facility

Dear Mr. Dumais

This office is working with T-Mobile Northeast, LLC ("Applicant" or "T-Mobile") in the above application. As we have discussed, T-Mobile is modifying several existing facilities in West Hartford and throughout Connecticut. T-Mobile currently owns and operates a facility (the "Facility") at the property known as 345 North Main Street (the "Premises") and is seeking municipal permission to modify the Facility as described and depicted on the accompanying site plan.

This application is submitted pursuant to the requirements of the Town of West Hartford Zoning Regulations, specifically Article V Section 177-44C(9) (Special Development District Plan). The Premises is subject to a previously-granted Special Development District approval. In addition to the cited zoning regulations, Applicant submits that the administration of this application is subject to Section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012 and all judicial, statutory and regulatory interpretations thereof. Applicant contends that the Facility by its nature constitutes an "eligible facility" as defined therein. Accordingly, the Town of West Hartford is required to approve the application without undue delay.

O'CONNELL, ATTMORE & MORRIS, LLC

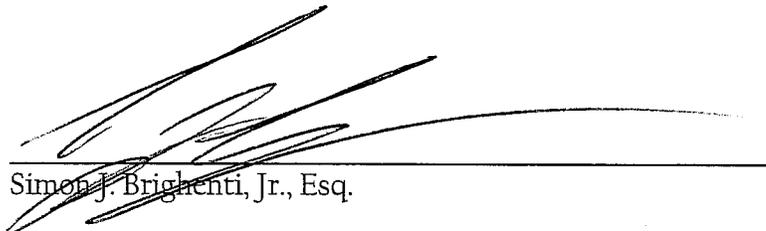
Todd Dumais, Planner
West Hartford, CT
June 10, 2015
Page 2

Please find the following material accompanying this application¹

1. Detailed plot plan and construction drawings dated 04/08/15;
2. National Environmental Policy Act ("NEPA") Screening Report dated 12/08/14 (abridged)
3. RF Compliance Report dated 3/12/15
4. Structural Analysis Report dated 8/04/14; rev. 1/15/15 (abridged)
5. Visual; Analysis/Photographic Simulations dated 4/14/05
6. Check Payable to Town of West Hartford in the amount of \$560.00.

It is my understanding pursuant to our discussion that this matter will be placed on the City Council agenda for the June 23, 2015 council meeting. Please contact with any comments or questions or should you need additional information. Thank you for your continuing cooperation.

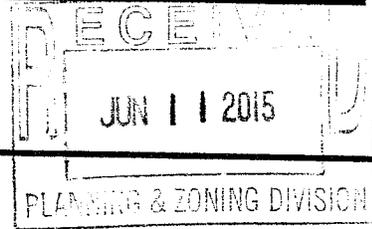
Yours truly,
O'CONNELL, ATTMORE & MORRIS, LLC



Simon J. Brighenti, Jr., Esq.

SJB/ja

¹ Note that due to volume, some of these items have been abridged in this submission. Full copies of all material has either been submitted previously via e-mail or is available in full upon request.



**MODIFICATIONS TO A WIRELESS TELECOMMUNICATIONS
FACILITY ON A ROOFTOP**

**CT11165A
345 North Main Street
West Hartford, CT 06117**

Prepared For:

T-Mobile Northeast, LLC
35 Griffon Road south
Bloomfield, CT 06002

Provided By:

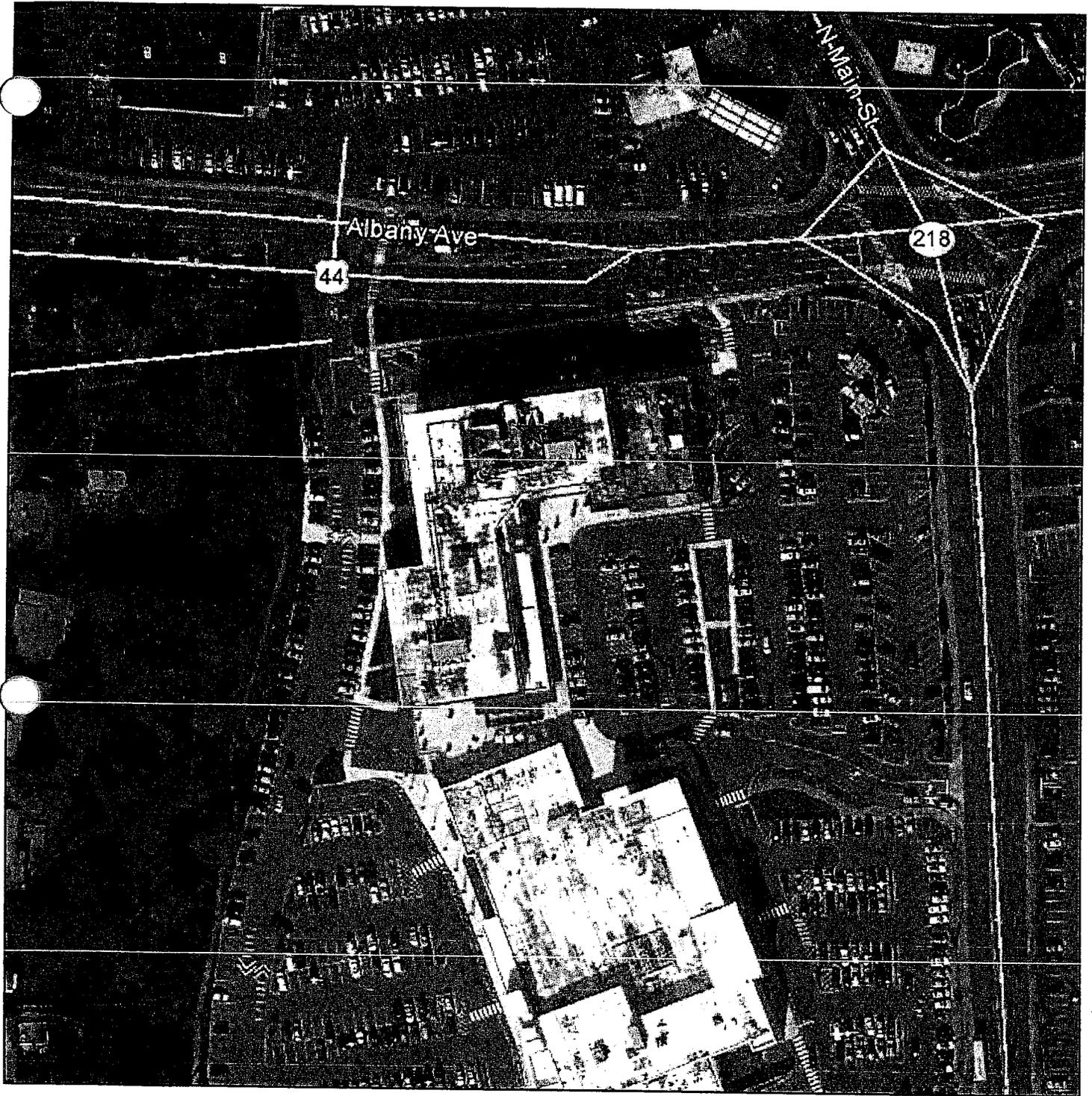


EBI Consulting
21 B Street
Burlington, MA 01803
ph. 781.273.2500
fax 781.273.3311

Note: These photo simulations are intended to represent modifications relative to a person observing the aesthetics of the proposed telecommunications installation. Therefore, they are inherently approximate in nature and should not be used as an exact, scaled engineering drawing.

EBI Job No. 8114000794

VISIBILITY MAP



Legend

- ★ Project Site
- Photo Location Points
 - Visible
 - Not Visible

Photo location Map

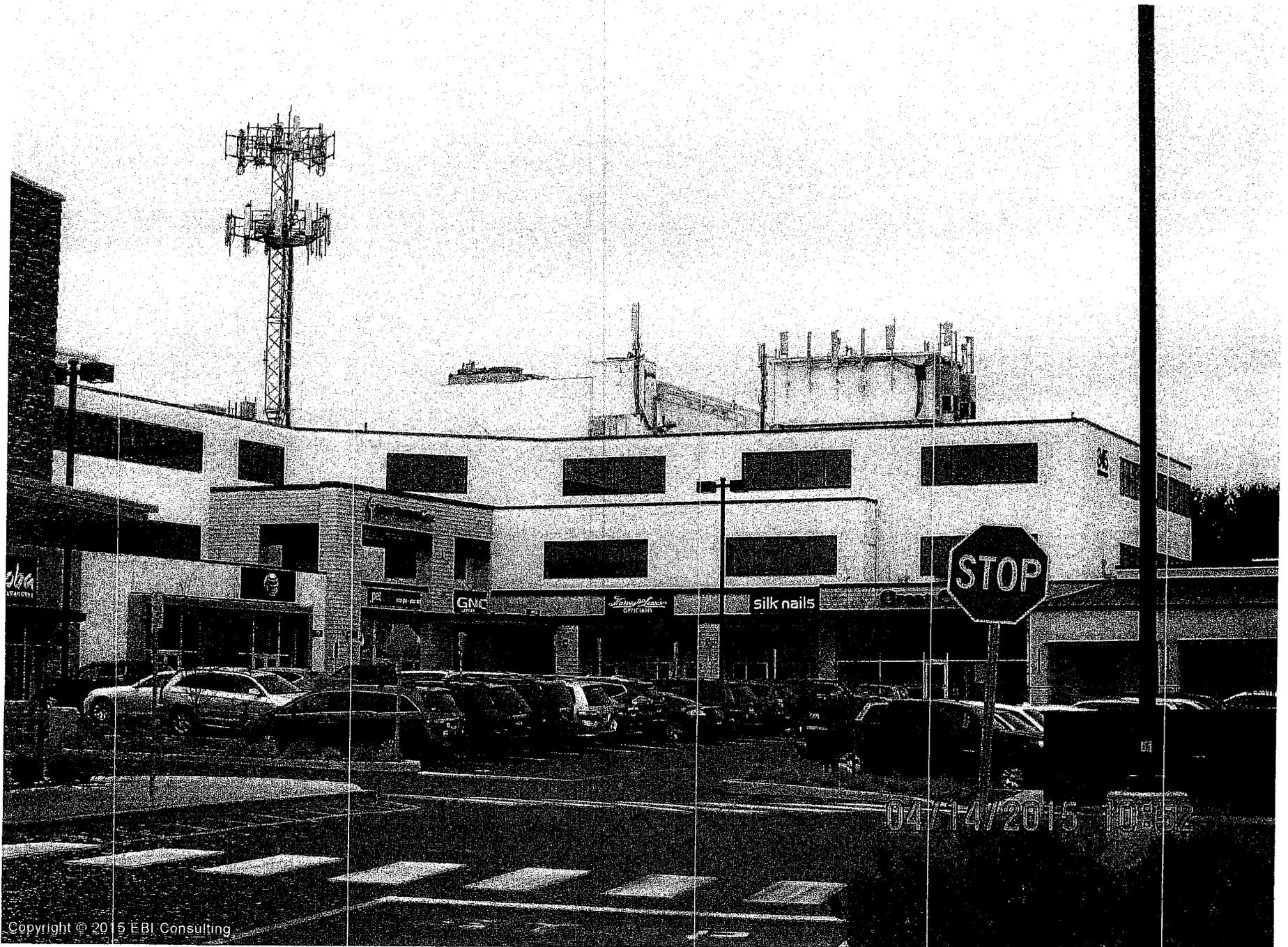




EXISTING CONDITIONS | LOOKING SOUTH FROM 2550 ALBANY AVENUE



PROPOSED T-MOBILE ANTENNA MODIFICATIONS | LOOKING SOUTH FROM 2550 ALBANY AVENUE



Copyright © 2015 EBI Consulting

EXISTING CONDITIONS | LOOKING NORTH FROM PARKING LOT



Copyright © 2015 EBI Consulting

PROPOSED T-MOBILE ANTENNA MODIFICATIONS | LOOKING NORTH FROM PARKING LOT

T-Mobile Northeast, LLC

CT11165A

WEST HARTFORD/JN OF_1

345 N, MAIN ST.
WEST HARTFORD, CT 06117

MODIFICATIONS TO AN EXISTING WIRELESS TELECOMMUNICATIONS FACILITY

APPLICANT:

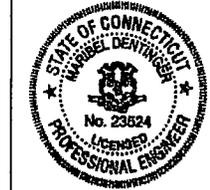
T-Mobile Northeast, LLC
35 GRIFFIN ROAD SOUTH
BLOOMFIELD, CT 06002
860.692.7100

PREPARED BY:

EBI Consulting
environmental | engineering | due diligence
21 B Street | Burlington, MA 01803
Tel: (781) 273-2500 | Fax: (781) 273-3311
www.ebiconsulting.com

CONFIGURATION

702CU



Harold Dentinger

ENGINEER STAMP/SIGNATURE

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SUBMITTALS

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0	08/19/14	FINAL	KW
1	02/08/15	PER COMMENTS	SH
2	02/17/15	PER COMMENTS	BB
3	04/06/15	FOR CONSTRUCTION	BB

GENERAL NOTES

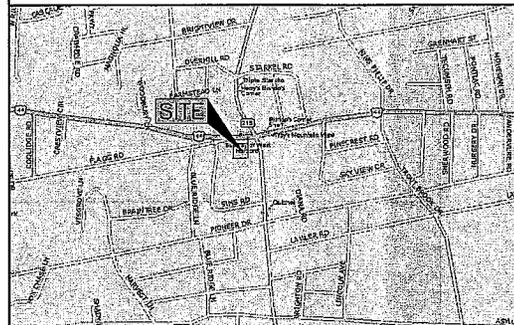
- THE CONTRACTOR SHALL GIVE ALL NOTICES & COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS & LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL & UTILITY COMPANY SPECIFICATIONS, & LOCAL & STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT & THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, & ORDINANCES.
- THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION & CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS & OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT & IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE PROJECT OWNER'S REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
- THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR & ALL OTHER MATERIALS & LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS & TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL OBTAIN AUTHORIZATION FROM THE PROJECT OWNER'S REPRESENTATIVE TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS / CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT & MATERIALS ACCORDING TO THE MANUFACTURER'S / VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS & ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE CONTRACTOR SHALL SUPERVISE & DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES & PROCEDURES & FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL SURVEYS, ESTABLISHING & MAINTAINING ALL LINES & GRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS AS SHOWN HEREIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVERS, CURBS, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN & HAZARD FREE DURING CONSTRUCTION & DISPOSE OF ALL DIRT, DEBRIS, RUBBISH & REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION & FREE FROM PAINT SPOTS, DUST, OR SMOGDES OF ANY NATURE.
- THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT OWNER'S REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE LESSEE/LICENSEE REPRESENTATIVE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
- ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS & EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL THE FOLLOWING FOR ALL PRE-CONSTRUCTION NOTIFICATION 72-HOURS PRIOR TO ANY EXCAVATION ACTIVITY.
- PER FCC MANDATE, ENHANCED EMERGENCY (E911) SERVICE IS REQUIRED TO MEET NATIONWIDE STANDARDS FOR WIRELESS COMMUNICATIONS SYSTEMS. PROJECT OWNER IMPLEMENTATION REQUIRES DEPLOYMENT OF EQUIPMENT & ANTENNAS GENERALLY DEPICTED ON THIS PLAN, ATTACHED TO OR MOUNTED IN CLOSE PROXIMITY TO THE BTS RADIO CABINET. THE PROJECT OWNER RESERVES THE RIGHT TO MAKE REASONABLE MODIFICATIONS TO E911 EQUIPMENT & LOCATION A TECHNOLOGY EVOLVES TO MEET REQUIRED SPECIFICATIONS.



Know what's below.
Call before you dig.
(800) 922-4455 or 811
www.call811.com

72 HOURS PRIOR TO DIGGING, CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES TO LOCATE ALL UNDERGROUND UTILITIES.

VICINITY MAP



SCOPE OF WORK

T-MOBILE PROPOSES THE MODIFICATION OF AN EXISTING UNMANNED WIRELESS TELECOMMUNICATIONS FACILITY:

- INSTALL (6) PANEL ANTENNAS ON NEW PIPE MASTS (2 PER SECTOR).
- INSTALL (3) RRU'S AT ANTENNAS (1 PER SECTOR).
- INSTALL (6) HYBRID CABLES (2 PER SECTOR).
- REUSE (3) EXISTING PANEL ANTENNAS ON NEW PIPE MASTS (1 PER SECTOR).
- REUSE EXISTING EQUIPMENT AT ROOF.
- REUSE EXISTING ANTENNA CABLES.

PROJECT INFORMATION

SITE NAME: WEST HARTFORD/JN OF_1
SITE NUMBER: CT11165A
SITE ADDRESS: 345 N, MAIN ST. WEST HARTFORD, CT 06117
COORDINATES: LATITUDE: 41° 47' 06.68" N (NAD 83)
LONGITUDE: 72° 44' 52.47" W (NAD 83)
PROPERTY OWNER: EDENS AND AVANT
BERT KAPLOWITZ, REGIONAL PROPERTY MANAGER
PARCEL ID: N/A
CURRENT ZONING: 28

SHEET INDEX

SHEET	DESCRIPTION
T-1	TITLE SHEET
A-1	ROOFTOP PLAN
A-2	ELEVATION
A-3	ANTENNA ORIENTATIONS
A-4	EQUIPMENT SPECS. & DETAILS
S-1	STRUCTURAL DETAILS
S-2	STRUCTURAL DETAILS
S-3	STRUCTURAL DETAILS & GENERAL NOTES
E-1	GROUNDING SCHEMATIC, DETAILS AND NOTES

PROJECT TEAM

APPLICANT: T-MOBILE NORTHEAST, LLC.
35 GRIFFIN ROAD SOUTH
BLOOMFIELD, CT 06002
(860) 692-7100

ARCHITECT & ENGINEER: EBI CONSULTING
21 B STREET
BURLINGTON, MA 01803
(781) 273-2500

SITE ACQUISITION: EBI CONSULTING
21 B STREET
BURLINGTON, MA 01803
(781) 273-2500

CODE COMPLIANCE

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LOCAL CODES:
- 2005 CONNECTICUT BUILDING CODE WITH 2009, 2011 & 2013 AMENDMENTS.
 - 2011 NATIONAL ELECTRICAL CODE.
 - 2003 INTERNATIONAL MECHANICAL CODE, 2003 INTERNATIONAL PLUMBING CODE LOCAL BUILDING CODE.
 - CITY AND/OR COUNTY ORDINANCES.



81140794

CT11165A
WEST HARTFORD/JN OF_1
345 N, MAIN ST.
WEST HARTFORD, CT 06117

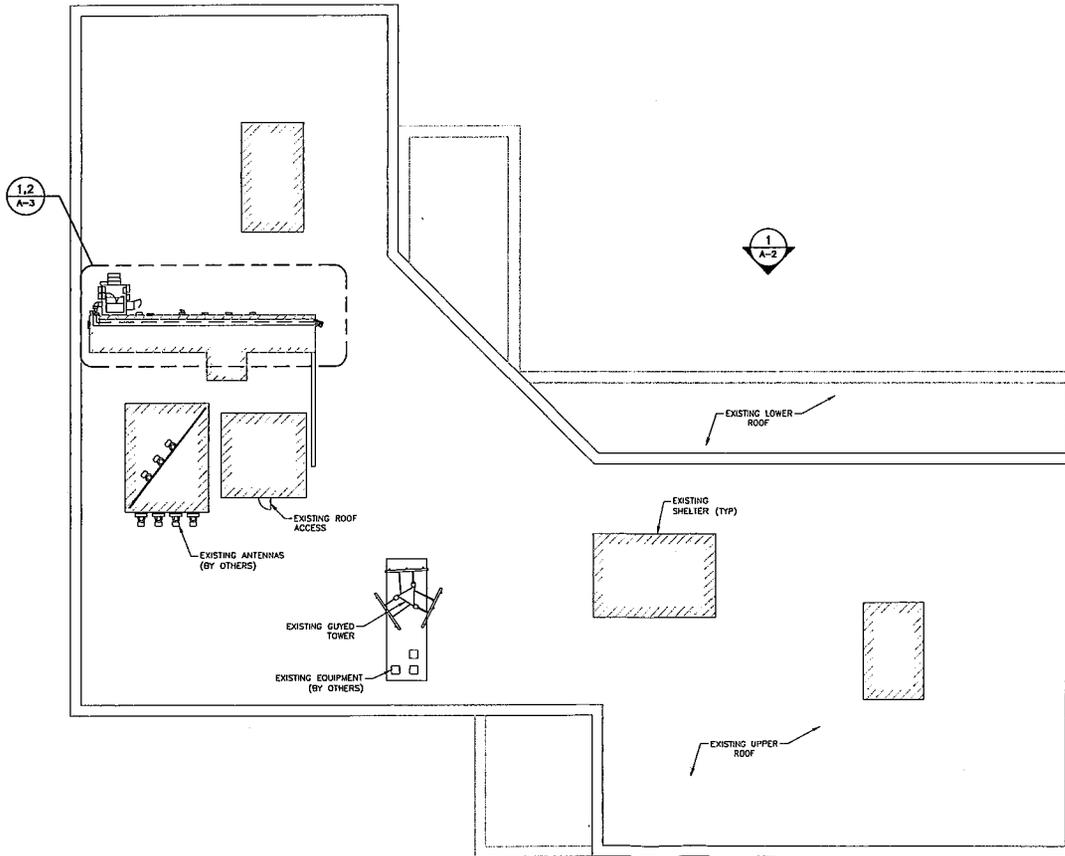
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TITLE SHEET

DRAWN BY: SS
CHECKED BY: PM
DATE: 08/12/14

SHEET NO:
T-1

NOTES:

1. REFER TO THE FINAL T-MOBILE RF DATA SHEET FOR FINAL ANTENNA SETTINGS.
2. ALL PROPOSED EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH CORRESPONDING STRUCTURAL ANALYSIS, EQUIPMENT MANUFACTURER'S RECOMMENDATIONS AND FINAL T-MOBILE RF DATA SHEET.



APPLICANT:

T-Mobile Northeast, LLC
 35 GRIFFIN ROAD SOUTH
 BLOOMFIELD, CT 06002
 860.692.7100

PREPARED BY:

EBI Consulting
 environmental | engineering | due diligence
 21 B Street | Burlington, MA 01803
 Tel: (781) 273-2500 | Fax: (781) 273-3311
 www.ebiconsulting.com



Maribel Deringer

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SUBMITTALS

NO.	DATE	DESCRIPTION	BY
A	08/19/14	90% CONSTRUCTION	SS
0	08/19/14	FINAL	KW
1	02/09/15	PER COMMENTS	SH
2	02/17/15	PER COMMENTS	BB
3	04/08/15	FOR CONSTRUCTION	BB

EBI JOB NO: **81140794**

SITE INFO:

CT11165A
WEST HARTFORD/JN
OF_1
 345 N. MAIN ST.
 WEST HARTFORD, CT 06117

SHEET TITLE:

ROOFTOP PLAN

DRAWN BY: SS	SHEET NO: A-1
CHECKED BY: PH	
DATE: 08/12/14	

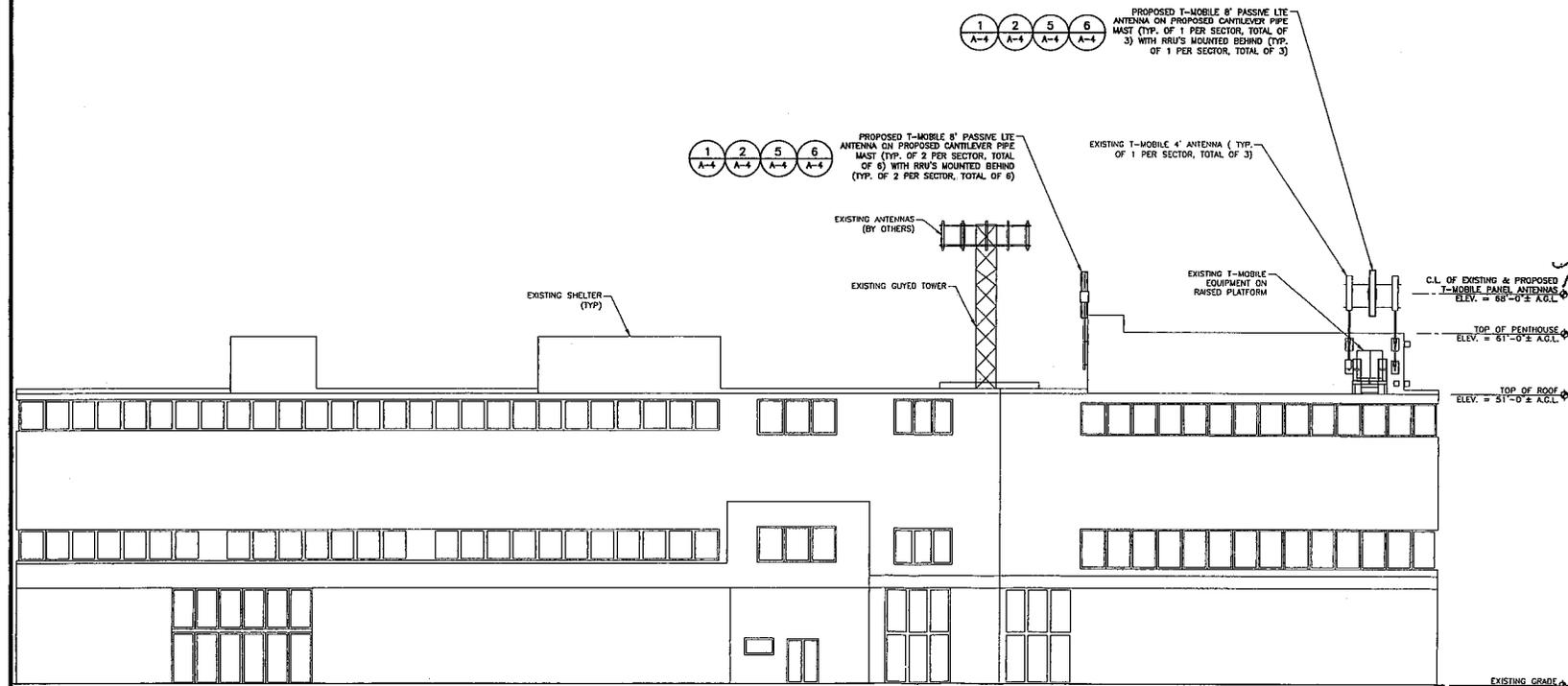


11x17 SCALE: 1" = 30'
 22x34 SCALE: 1" = 15'

1 ROOFTOP PLAN

NOTES:

1. REFER TO THE FINAL T-MOBILE RF DATA SHEET FOR FINAL ANTENNA SETTINGS.
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environmental | engineering | design | science
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 www.ebiconsulting.com



Haribal Dostinger

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1	02/09/15	PER COMMENTS	SH
2	02/17/15	PER COMMENTS	BB
3	04/08/15	FOR CONSTRUCTION	BB

EBI JOB NO: **81140794**

SITE INFO:
CT11165A
WEST HARTFORD/JN
OF_1
 345 N. MAIN ST.
 WEST HARTFORD, CT 06117

SHEET TITLE:
ELEVATION

DRAWN BY: SS
 CHECKED BY: PM
 DATE: 08/12/14

A-2

1 NORTHEAST ELEVATION

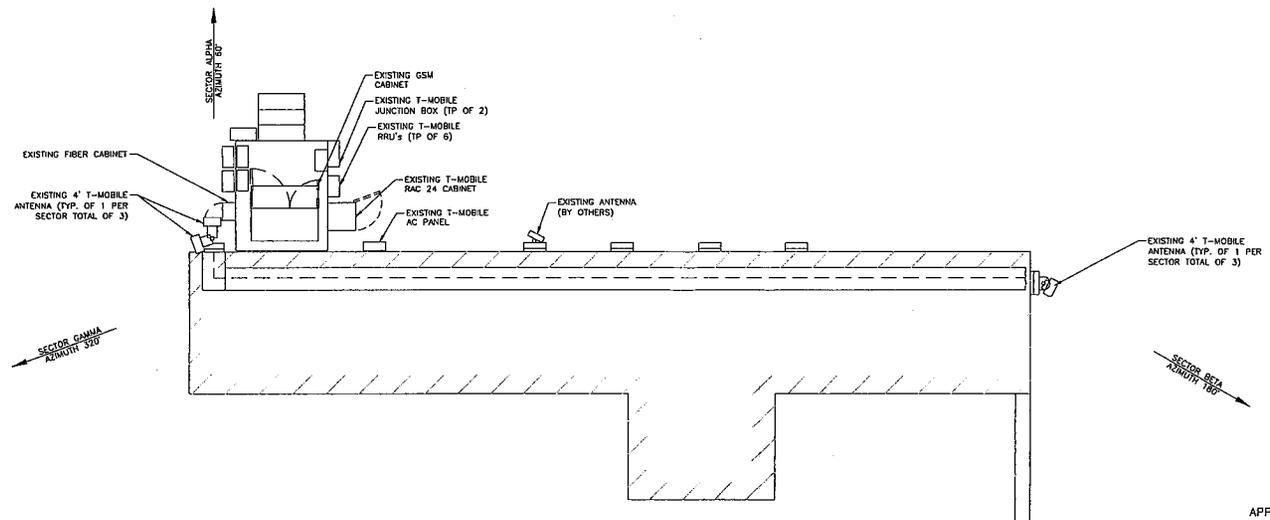
11x17 SCALE: 1" = 20'
 22x34 SCALE: 1" = 10'

APPLICANT:
T-Mobile Northeast, LLC
 35 GRIFFIN ROAD SOUTH
 BLOOMFIELD, CT 06002
 860.692.7192

PREPARED BY:
EBI Consulting
environmental | engineering | e-intelligence
 21 B Street | Burlington, MA 01803
 Tel: (781) 273-2500 | Fax: (781) 273-3311
 www.ebiconsulting.com



Harold Dentinger



1 EXISTING ANTENNA ORIENTATION

11x17 SCALE: 1/8" = 1'-0"
 22x34 SCALE: 1/4" = 1'-0"

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SUBMITTALS

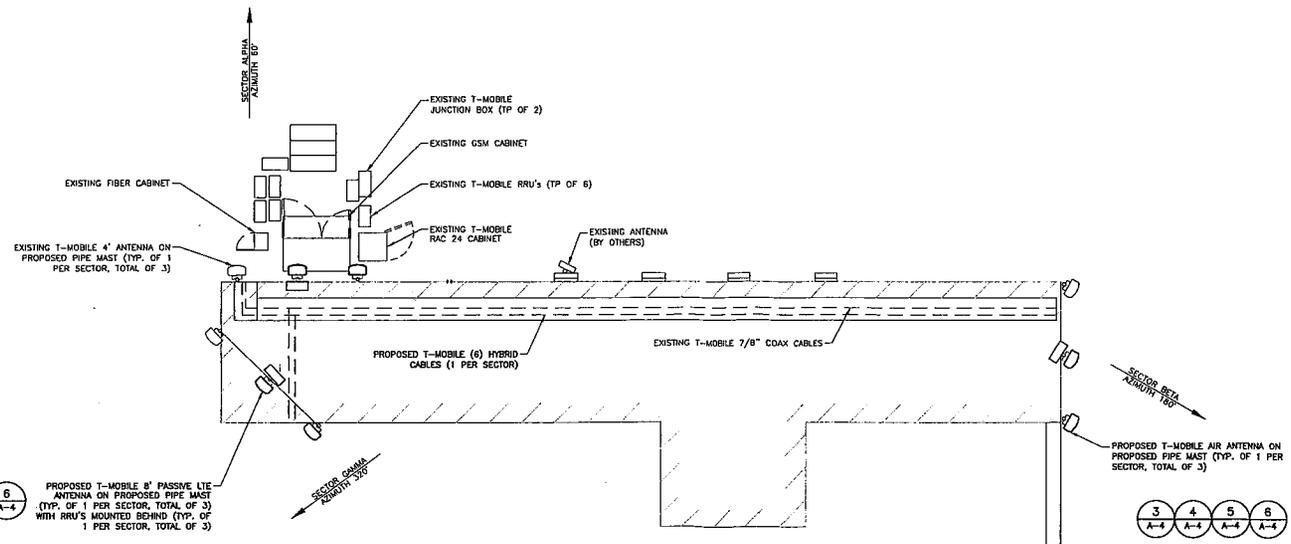
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 345 N. MAIN ST.
 WEST HARTFORD, CT 06117

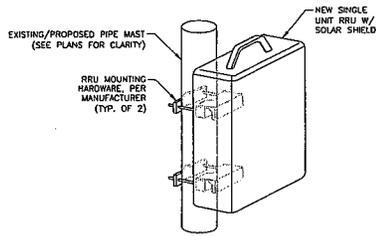
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ANTENNA ORIENTATIONS

DRAWN BY: SS
 CHECKED BY: PM
 DATE: 08/12/14
 SHEET NO: **A-3**

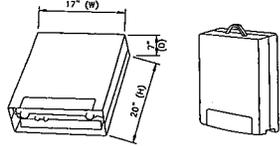


2 PROPOSED ANTENNA ORIENTATION

11x17 SCALE: 1/8" = 1'-0"
 22x34 SCALE: 1/4" = 1'-0"



1 TYP. RRU ATTACHMENT DETAIL N.T.S.

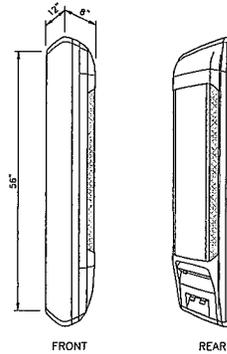


ERICSSON RRU11 B12

-DIMENSIONS (H x W x D): 20" x 17" x 7"
 (INCLUDES SOLARSHIELD AND HANDLE)
 -WEIGHT: 50.7 LBS

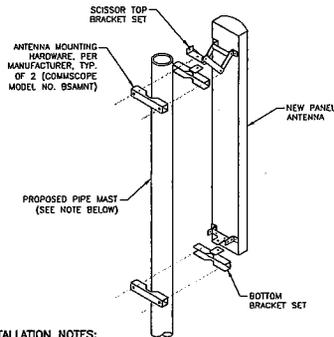
NOTE:
 RRU CAN ONLY BE PAINTED ON SOLAR SHIELD.

2 RRU SPECIFICATION N.T.S.



ERICSSON AIR 21 B2A B4D
 DIMENSIONS: 56 1/4" x 12" W x 8"D
 WEIGHT: 63 LBS.

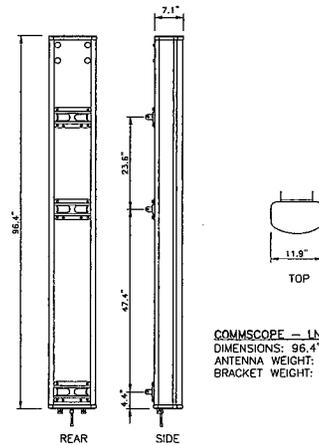
4 ANTENNA SPECIFICATION N.T.S.



ANTENNA INSTALLATION NOTES:

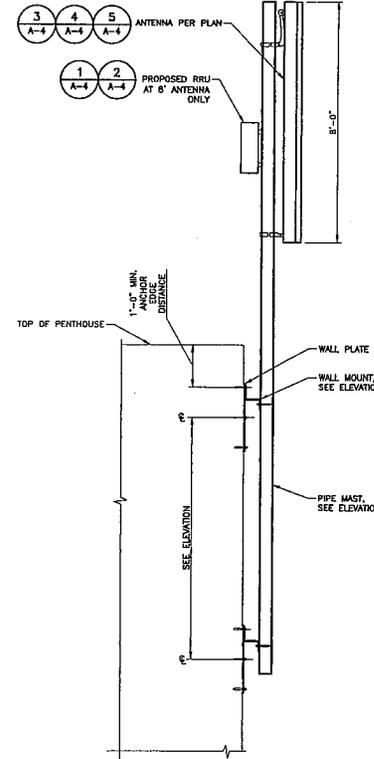
1. REPLACE EXISTING PIPE MASTS AT NEW ANTENNA LOCATIONS WITH NEW PIPE MASTS OUTLINED AT EACH SECTOR'S MOUNT AND ELEVATION DETAILS WITHIN THESE DRAWINGS.
2. NEW 1/2" DIAMETER GALVANIZED U-BOLTS SHALL BE INSTALLED FOR SUPPORTING REPLACED MAST PIPES. ENLARGED HOLES, IF REQUIRED, ENLARGED HOLES, IF REQUIRED FOR FIT-UP, SHALL BE PREPARED USING A REAMING TOOL, AND SHALL BE COATED WITH A ZINC RICH COLD GALVANIZING COMPOUND IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS PRIOR TO THE INSTALLATION OF CONNECTING HARDWARE. USS OVERSIZE FLAT WASHERS SHALL BE INSTALLED UNDER NUTS AT CONNECTIONS WITH REAMED HOLES, OTHERWISE STANDARD SEA FLAT WASHERS SHALL BE INSTALLED.

3 TYP. ANTENNA ATTACHMENT DETAIL N.T.S.



COMMSCOPE - LNX-6515DS-VIM
 DIMENSIONS: 96.4"H x 11.9"W x 7.1"D
 ANTENNA WEIGHT: 43.7 LBS.
 BRACKET WEIGHT: 8.8 LBS.

5 ANTENNA SPECIFICATION N.T.S.



6 ANTENNA DETAIL 11x17 SCALE: 1/4" = 1'-0" 22x34 SCALE: 1/2" = 1'-0"

APPLICANT:
T-Mobile Northeast, LLC
 35 GRIFFIN ROAD SOUTH
 BLOOMFIELD, CT 06002
 860.692.7100

PREPARED BY:
EBI Consulting
 environmental | engineering | due diligence
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Margaret Dentinger

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SUBMITTALS

NO.	DATE	DESCRIPTION	BY
A	08/18/14	90% CONSTRUCTION	SS
0	08/19/14	FINAL	KW
1	02/09/15	PER COMMENTS	SH
2	02/17/15	PER COMMENTS	BB
3	04/08/15	FOR CONSTRUCTION	BB

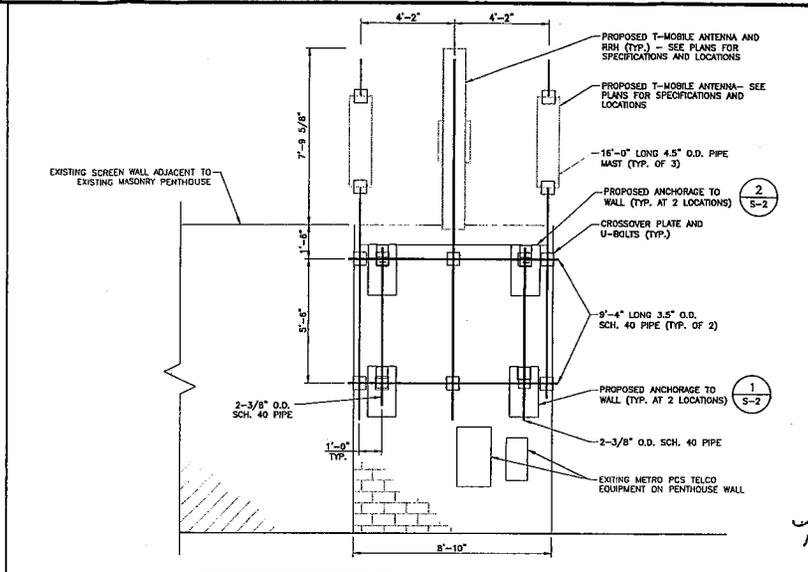
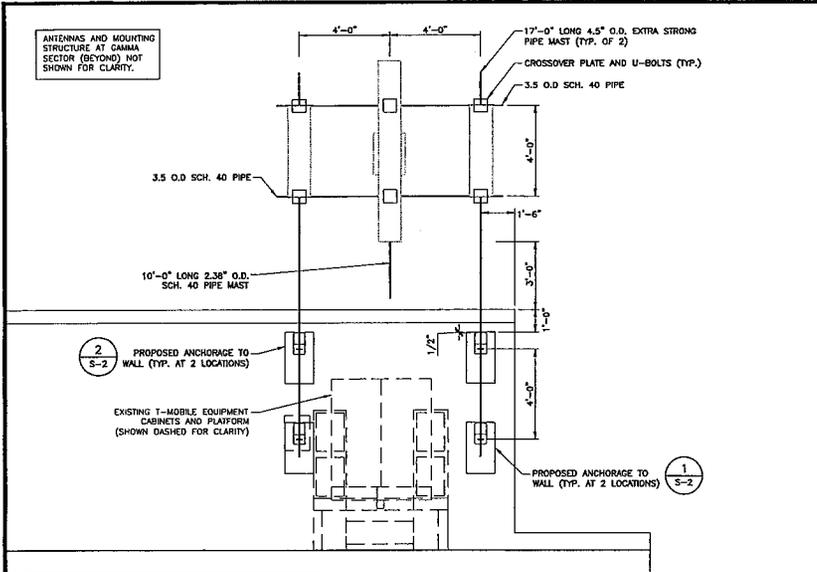
EBI JOB NO: 81140794

SITE INFO:
 CT11165A
 WEST HARTFORD/JN
 OF_1
 345 N. MAIN ST.
 WEST HARTFORD, CT 06117

SHEET TITLE:
 EQUIPMENT SPECS.
 & DETAILS

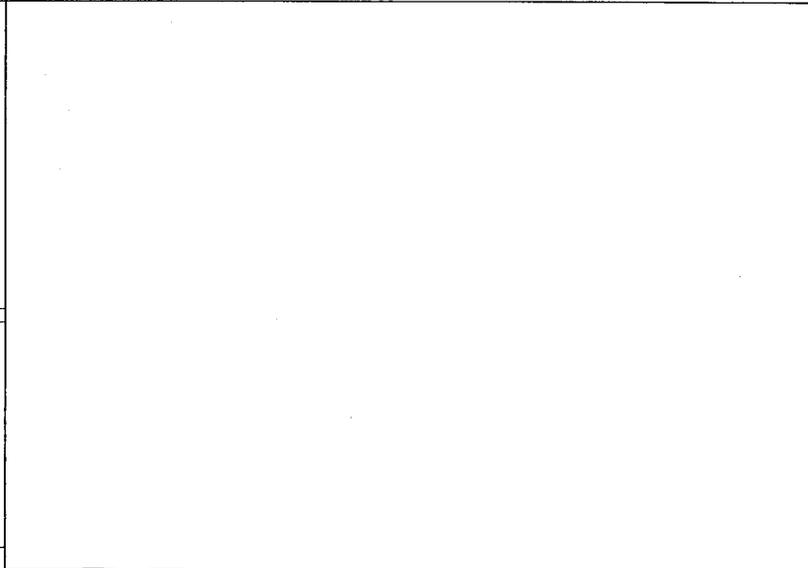
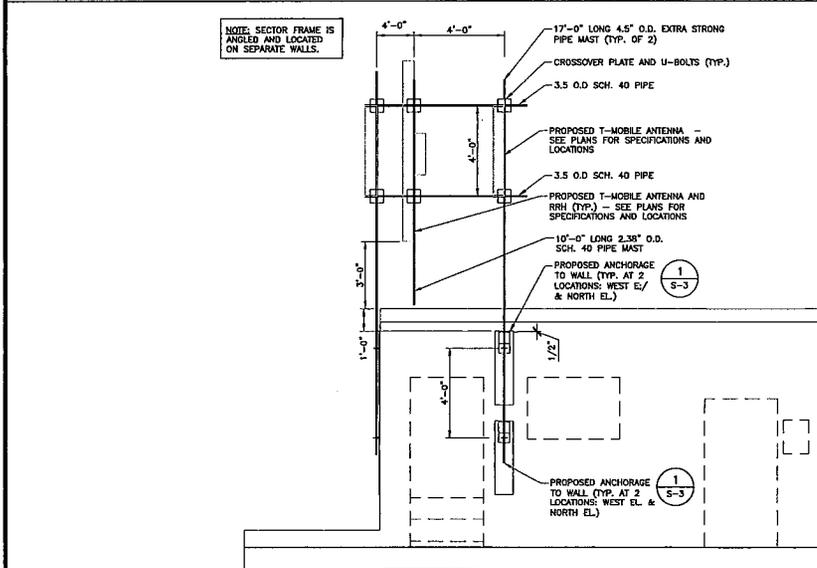
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A-4



1 ALPHA SECTOR ANTENNA MOUNT ELEVATION
 11x17 SCALE: 3/16" = 1'-0"
 22x34 SCALE: 3/8" = 1'-0"

2 BETA SECTOR ANTENNA MOUNT ELEVATION
 11x17 SCALE: 3/16" = 1'-0"
 22x34 SCALE: 3/8" = 1'-0"



3 GAMMA SECTOR ANTENNA MOUNT ELEVATION (WEST)
 11x17 SCALE: 3/16" = 1'-0"
 22x34 SCALE: 3/8" = 1'-0"

4 NOT USED
 N.T.S.

APPLICANT:
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3	04/08/15	FOR CONSTRUCTION	BB

EBI JOB NO: 81140794

SITE INFO:
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 OF_1
 345 N. MAIN ST.
 WEST HARTFORD, CT 06117

SHEET TITLE:
**STRUCTURAL
 DETAILS**

DRAWN BY: SS
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S-1

APPLICANT:
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 35 GRIFFIN ROAD SOUTH
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EBI JOB NO: **81140794**

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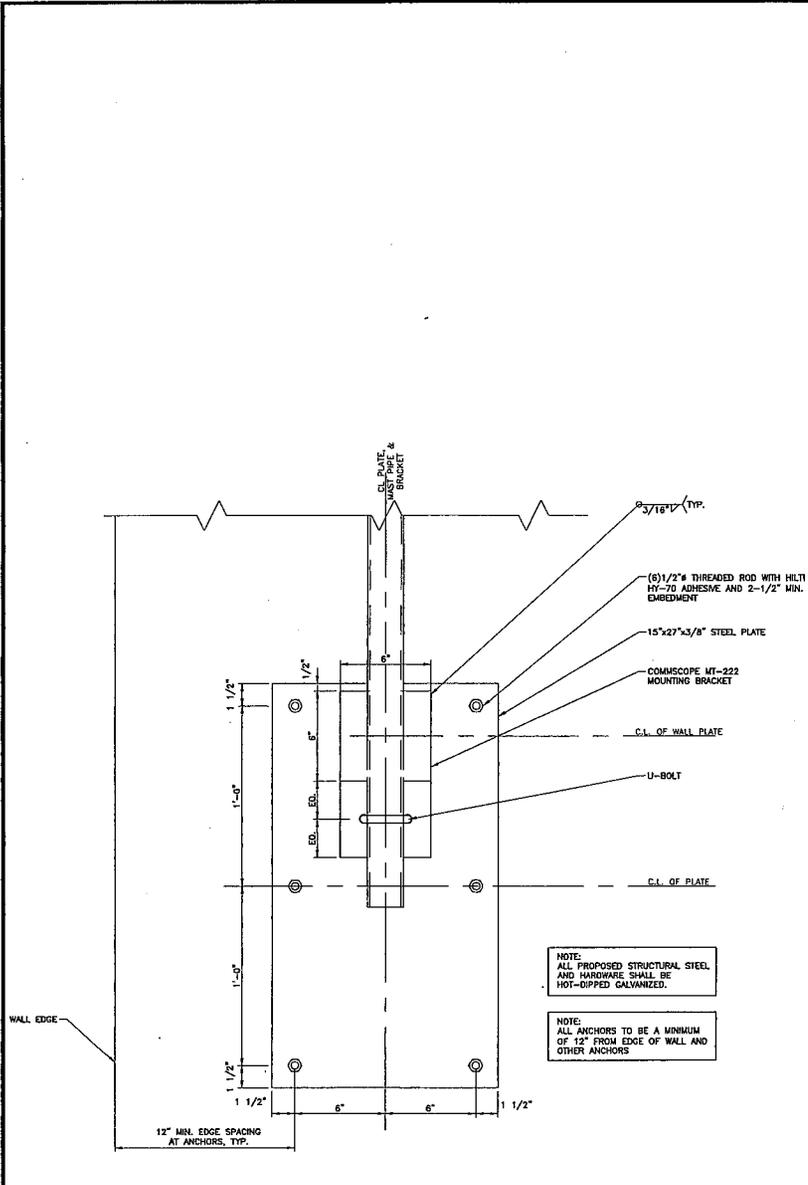
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DETAILS

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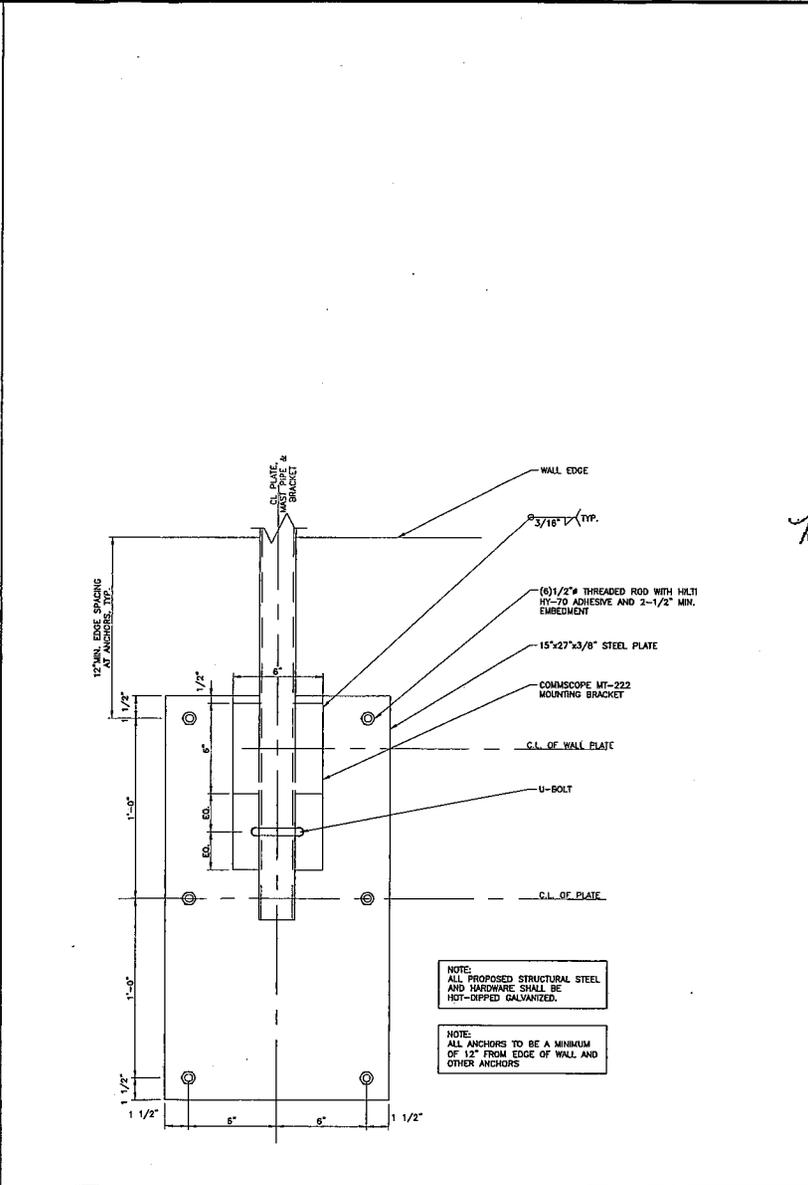
CHECKED BY:
 PM

DATE:
 08/12/14

SHEET NO:
S-2



1 ANTENNA ANCHORAGE AT BUILDING CORNERS



2 ANTENNA ANCHORAGE AT TOP OF WALL

N.T.S.

DIVISION 01.00.00 - GENERAL REQUIREMENTS

- THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWS, ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
- THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND/OR SPECIFICATIONS SHALL NOT EXCUSE THE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE WIRELESS CARRIER'S REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK.
- THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S / VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR USE OF ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBS, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE ALL DIRT, DEBRIS, RUBBISH AND REMOVE ALL UNNECESSARY MATERIAL.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT SECTIONS OF THE STATE BUILDING CODE, LATEST EDITION, AND ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ARCHITECT/ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. THE CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT IS NOT LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING & EXCAVATION. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED OR CAPPED, OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK. SUBJECT TO THE APPROVAL OF THE ARCHITECT/ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE WIRELESS CARRIER'S REPRESENTATIVE IN WRITING, WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL THE CONFLICT IS RESOLVED BY THE WIRELESS CARRIER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
- THE CONTRACTOR SHALL NOTIFY THE RF ENGINEER FOR ANTENNA AZIMUTH VERIFICATION (DURING ANTENNA INSTALLATION) PRIOR TO CONDUCTING SITE SWEEPING.

STRUCTURAL DESIGN PARAMETERS

BUILDING CODES: STATE BUILDING CODE - 2005 CONNECTICUT SUPPLEMENT (WITH 2009, 2011, AND 2013 AMENDMENTS) 2003 INTERNATIONAL BUILDING CODE ANSI/TIA-222 - REV. F

OCCUPANCY CATEGORY: II

LIVE LOADS: ROOFS: 20 PSF

SNOW LOADS: GROUND SNOW LOAD, P_g: 30 PSF
FLAT ROOF SNOW LOAD, P_f: 25.2 PSF + DRIFT

WIND LOADS: BASIC WIND SPEED (ULTIMATE 3-SECOND GUST), V: 100 MPH
PER STATE CODE
BASIC WIND SPEED (FASTEST MILE), V: 80 MPH
PER TIA-2
IMPORTANCE FACTOR, I: 1.0
EXPOSURE CATEGORY: C
INTERNAL PRESSURE COEFFICIENT: ±0.18

SEISMIC PARAMETERS
COMPONENT IMPORTANCE FACTOR, I_p: 1.0
SPECTRAL ACCELERATION SHORT PERIOD, S_s: 0.240
SPECTRAL ACCELERATION 1-SECOND PERIOD, S₁: 0.064
SITE CLASS: D
SPECTRAL RESPONSE COEFFICIENT, S_{DS}: 0.256
SPECTRAL RESPONSE COEFFICIENT, S_{D1}: 0.103
SEISMIC DESIGN CATEGORY, SDC: B

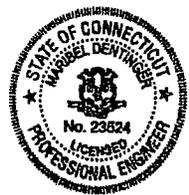
STRUCTURAL STEEL

- THE WORK SHALL CONFORM TO THE CODES AND STANDARDS OF THE FOLLOWING AGENCIES AS FURTHER CITED HEREIN:
 - ASTM: AMERICAN SOCIETY FOR TESTING AND MATERIALS, AS PUBLISHED IN "COMPILED OF ASTM STANDARDS IN BUILDING CODES"
 - AWS: AMERICAN WELDING SOCIETY INC., 550 NW LEJUNIE RD, MIAMI FL 33126 USA AS PUBLISHED IN "STANDARD D11-05, STRUCTURAL WELDING CODE."
 - AISC: AMERICAN INSTITUTE FOR STEEL CONSTRUCTION, AS PUBLISHED IN "CODE FOR STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES"; "SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS"
- STRUCTURAL STEEL SHALL BE NEW STEEL CONFORMING TO THE FOLLOWING:

A. W-SHAPE	ASTM A992, F _y =50KSI
B. ANGLES, CHANNELS, PLATES	ASTM A36
C. STRUCTURAL TUBE	ASTM A500, GRADE B, F _y =46KSI
D. STRUCTURAL PIPE	ASTM A500, GRADE B, F _y =42KSI
E. HIGH STRENGTH BOLTS	ASTM A325
F. WELDING	E70XX ELECTRODES
- STRUCTURAL STEEL FRAMING SHALL BE TRUE AND PLUMB BEFORE CONNECTIONS ARE FINAL FOR BOLTING OR WELDING.
- WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY (AWS) D11 "STRUCTURAL WELDING CODE" USING E70XX ELECTRODES.
- MINIMUM THICKNESS FOR CONNECTION ANGLE AND GUSSET PLATE SHALL BE 3/8" U.G.N.
- WELD SHALL DEVELOP THE FULL STRENGTH OF THE MATERIAL BEING WELDED, UNLESS NOTED OTHERWISE, EXCEPT THAT FILLET WELD SHALL BE A MINIMUM OF 3/16".
- PROVIDE TEMPORARY ERECTION BRACING AND SUPPORTS TO HOLD STRUCTURAL STEEL FRAMING SECURELY IN POSITION. SUCH TEMPORARY BRACING AND SUPPORTS SHALL NOT BE REMOVED UNTIL PERMANENT BRACING OR STABILIZING ELEMENTS HAVE BEEN INSTALLED.
- ALL STRUCTURAL STEEL INCLUDING PLATES, ANGLES AND CONNECTION MATERIAL SHALL BE GALVANIZED IN ACCORDANCE WITH THE ASTM A123 AND A153.
- ALL A325 BOLTS, NUTS, AND WASHERS TO BE GALVANIZED IN ACCORDANCE WITH ASTM A153, A384, AND A563.

APPLICANT:
T-Mobile Northeast, LLC
35 GRIFFIN ROAD SOUTH
BLOOMFIELD, CT 06002
860.692.7100

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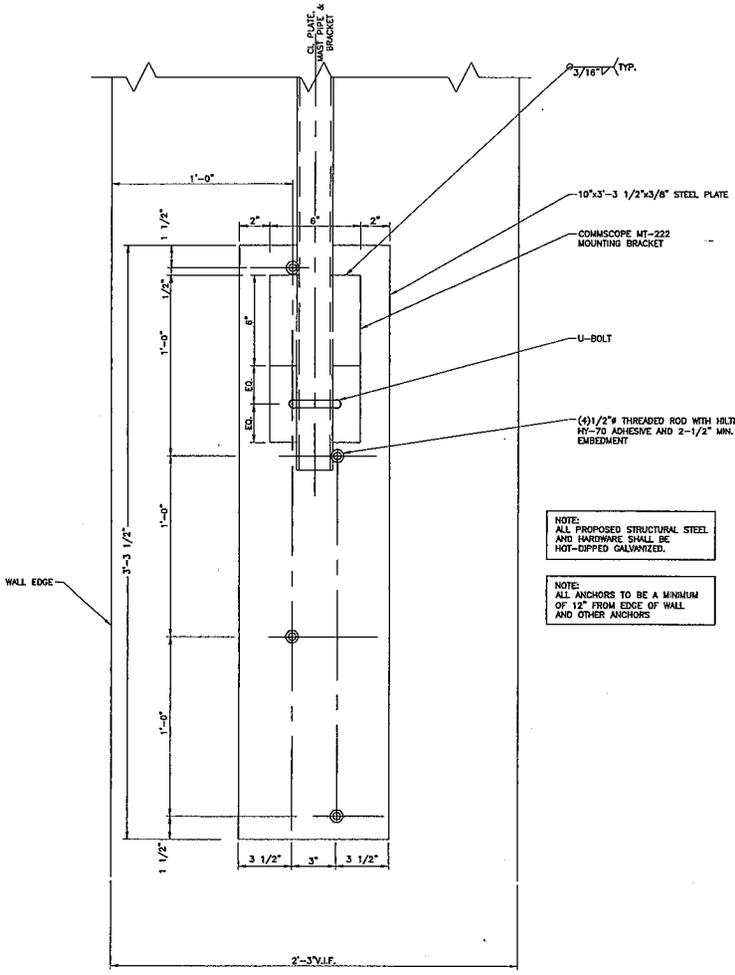
SUBMITTALS			
NO.	DATE	DESCRIPTION	BY
A	08/18/14	BOX CONSTRUCTION	SS
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EBI JOB NO: **81140794**

SITE INFO:
CT11165A
WEST HARTFORD/JN
OF_1
345 N. MAIN ST.
WEST HARTFORD, CT 06117

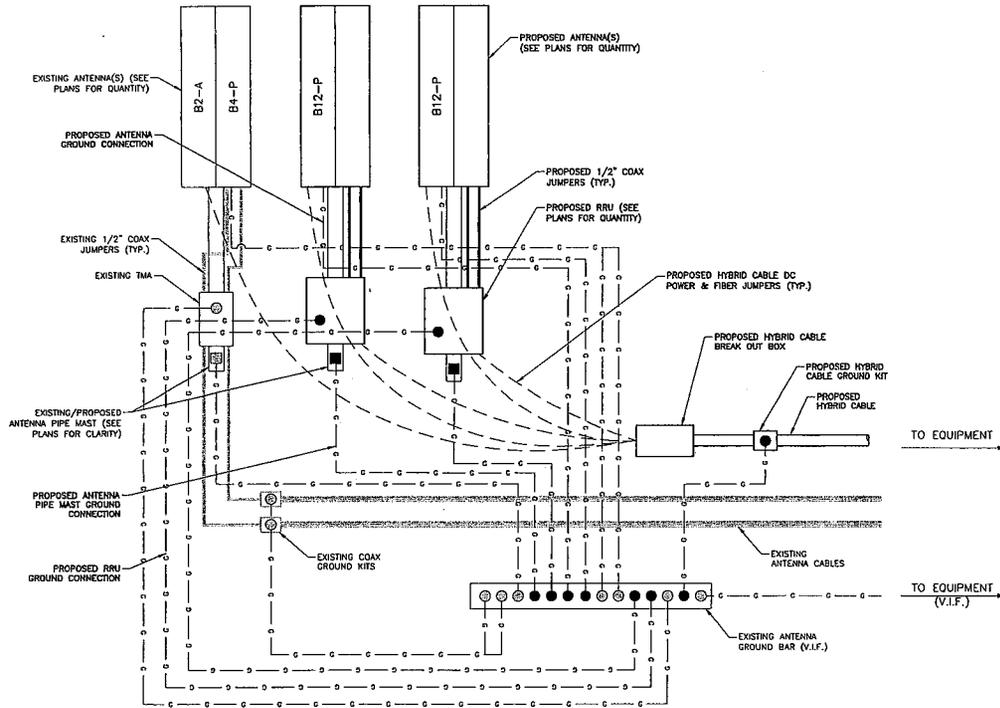
SHEET TITLE:
STRUCTURAL
DETAILS &
GENERAL NOTES

DRAWN BY: SS
CHECKED BY: PM
DATE: 08/12/14
SHEET NO: **S-3**



1 ANTENNA ANCHORAGE AT GAMMA SECTOR

GROUNDING SCHEMATIC
TYPICAL AT ALL 3 SECTORS



GROUNDING NOTES:

- A. CONTRACTOR TO VERIFY EXISTING GROUNDING SYSTEM IS INTACT. REPLACE ANY MISSING GROUNDING
- B. PROVIDE #2AWG GROUNDING CONDUCTOR, U.O.N.
- C. DO NOT INSTALL GROUND KIT AT BEND. DIRECT GROUND WIRE DOWN TO ANTENNA BUSSBAR.
- D. PROVIDE GROUNDING ELECTRODES IN QUANTITY, TYPE AND SIZE AS INDICATED ON SITE GROUNDING PLAN.
- E. ADD COAX GROUND KIT CONNECTION TO BUSSBAR WHEN LENGTH OF COAX RUN (FROM EQUIPMENT TO ANTENNA) IS GREATER THAN 20'-0".
- F. CONTRACTOR SHALL USE THE EXISTING GROUND BARS ALREADY INSTALLED ON TOWER & EQUIPMENT UNLESS OTHERWISE NOTED.
- G. GROUND NEW EQUIPMENT & HYBRID CABLES PER MANUFACTURERS SPECIFICATIONS
- H. PROVIDE GROUND CONNECTIONS FOR ALL METALLIC STRUCTURES, ENCLOSURES, RACEWAYS AND OTHER CONDUCTIVE ITEMS ASSOCIATED WITH THE INSTALLATION OF CARRIER'S EQUIPMENT.
- I. NOT ALL EXISTING GROUNDED ELEMENTS SHOWN FOR CLARITY.

LEGEND	
	EXISTING MECHANICAL BOND
	PROPOSED MECHANICAL BOND
	EXISTING CADWELD
	PROPOSED CADWELD
	EXISTING #2AWG BARE TINNED SOLID COPPER CONDUCTOR
	PROPOSED #2AWG BARE TINNED SOLID COPPER CONDUCTOR

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WEST HARTFORD, CT 06117

SHEET TITLE:

GROUNDING SCHEMATIC,
DETAILS AND NOTES

DRAWN BY:

SHEET NO:

SS

CHECKED BY:

E-1

DATE:

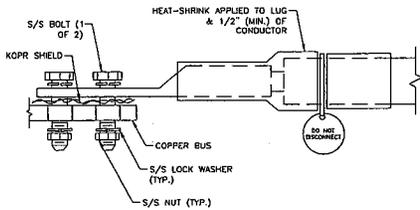
08/12/14

1 GROUNDING SCHEMATIC

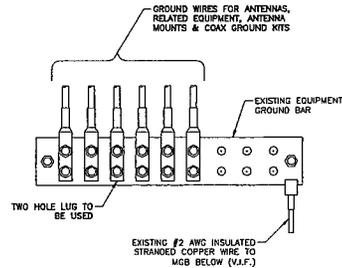
N.T.S.

NOTES:

1. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING BELLVILLES. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
2. FOR GROUND BOND TO STEEL ONLY, INSERT A LOCK WASHER BETWEEN LUG & STEEL. COAT ALL SURFACES WITH KOPR-SHIELD.
3. ALL HARDWARE TO BE 3/8" DIAMETER.



2 GROUND LUG DETAIL



3 ANTENNA GROUND BAR (AGB) DETAIL

4 SPACE NOT USED