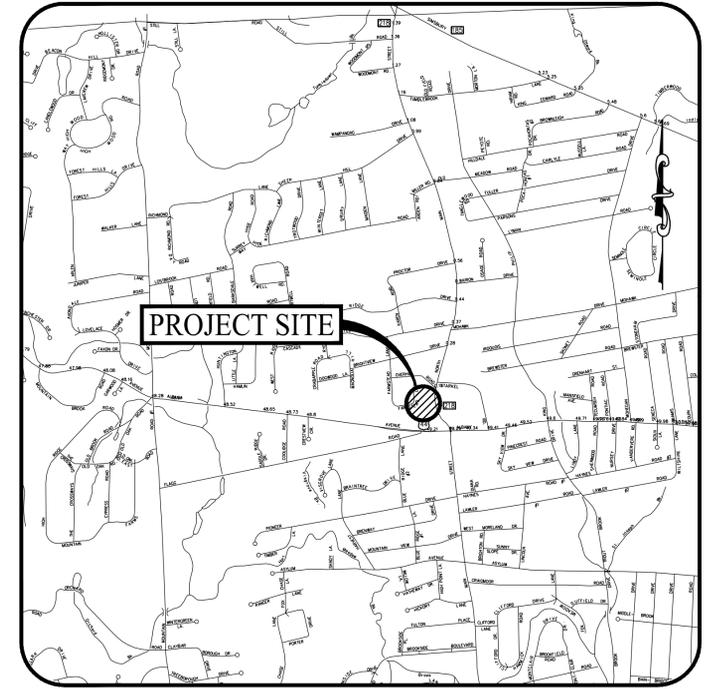


USGS MAP
SCALE: 1" = 1,500'



LOCATION MAP
SCALE: 1" = 1,500'

SPECIAL DEVELOPMENT DISTRICT #143

747 NORTH MAIN STREET
WEST HARTFORD, CONNECTICUT

TOWN COUNCIL APPROVAL: 01/15/15

PREPARED FOR:

DHR NORTH MAIN STREET, LLC

3 BARNARD LANE
BLOOMFIELD, CT 06002

SDD #143 CONDITIONS OF APPROVAL

TOWN COUNCIL
January 14, 2015

Attest: Robin Meador Pearson
Alan & Pearson, LLC
70 Hebron Avenue
2nd Floor
Bloomfield, CT 06003

Dear Attorney Pearson:

The Town Council at its meeting held on January 14, 2015 approved with the attached conditions the application on behalf of DHR NORTH MAIN STREET, LLC ("DHR") to establish a special development district and related developer, and Sandra C. Mitchell and Associates ("SCMA"), historic preservation consultant, to construct a multi-family development consisting of 17 units, including 10 townhomes, 2 new buildings, and upgrade the existing 12-unit apartment structure, all with associated parking, landscaping, lighting and signage at 747 North Main Street. This application seeks to rezone all of 747 North Main Street from the current R-13 and RMD-3 designation to SDD-143 and then designate the rezoned area a special development district, as set forth herein.

The Town Council approved the waiver of application fee.

Please note that approval is contingent upon compliance with Section 177-44C(3) of the Code of Ordinances of the Town of West Hartford.

Attest: Conditions of Approval

Sincerely,
Eric S. Labate
Eric S. Labate
Town Clerk/Council Clerk

cc: Karla M. Allen, Chairman, Town Planning and Zoning Commission
Tami Davis, Town Planner
Julie A. Gehring, Design Review Advisory Committee
Mark McGovern, Director of Community Services
Joseph O'Brien, Corporation Counsel
Paul Whelan, Director of Financial Services
Ron Van Winkle, Town Manager

TOWN OF WEST HARTFORD 40 SOUTH MAIN STREET
WEST HARTFORD, CONNECTICUT 06107-2431
(860) 961-1122 FAX (860) 961-1428
www.westhartford.org

c. **Solid Waste-Operational Condition**
Solid waste collection shall be the responsibility of the property owner/manager.
Solid waste collection within the Special Development District shall be permitted between 10:00 a.m. and 3:00 p.m. on weekdays.

d. **Special Site Use or Operational Requirements**
i. **Maintenance Plan**
The Applicant shall, prior to the filing of the Special Development District on the Land Records, submit for review and approval by the Town Manager or his designee, a yearly maintenance plan for the Special Development District. Said plan shall designate the individuals responsible for establishing maintenance objectives and an ongoing schedule of maintenance activities to ensure the aesthetic quality and cleanliness of the site. The maintenance plan shall include, but not be limited to, a timetable for all required installation and maintenance activities with respect to plantings, landscaping and screening, sidewalks, lighting, signage, storage, refuse and litter control, building exteriors and other site amenities proposed in the plans. The maintenance plan shall also contain provisions dealing with snow removal from those pedestrian walkways for which the Applicant is responsible. Specifically, the snow removal plan shall call for the removal from required walkways of all snow or ice deposits so as to render those walkways safe for pedestrian passage at all times. Accumulated snow which is stored on-site shall not encroach into parking spaces or vehicular travelways.

ii. **Landscaping and Fencing**
Applicant will maintain all landscaped areas including mowing, weeding and brush removal and be responsible for replacement of plantings where necessary.

iii. **Site Lighting**
All outdoor lighting shall be down-shielded so as to prevent glare onto adjoining properties.

iv. **Common Elements/Cross Elements**
A. If more than one owner has the legal right to use any areas of common space and facilities, natural and improved open areas, access roadways, parking, landscaped area and/or infrastructure shown on the record exhibits, such areas shall be committed to common use and maintenance by and among all owners with the legal right to use them. Legal instruments which assure the Town of this requirement shall be submitted to the Town Planner and Corporation Counsel for determination of their legal sufficiency and consistency with the approved plans prior to the issuance of a Certificate of Occupancy for any building associated therewith.
B. Any documents related to such site maintenance and related legal instruments shall be reviewed and approved by Corporation Counsel as to their legal sufficiency to:
(1) Establish clear responsibility for the maintenance of all such areas of common space and facilities, natural and improved open areas, access roadways, parking, landscaped area and/or related infrastructure contained in the SDD exhibits.
(2) Ensure continued operation of the private drainage facilities and structures, in order to guarantee the systems' drainage design integrity. Such legal instruments shall include, but not be limited to, a provision that the Town will have the right, but not the obligation, to repair or maintain the private drainage facilities should the Applicant or any successor owners fail to do so upon written notice.

v. The Applicant is authorized to move the handicapped parking space located on Lot #1 from its current location to be included in the bank of visitor parking spaces on that lot. It is understood that this would result in the elimination of one parking space.

e. **Utilities to be underground**
Any new electrical, telephone, cable television and other utility services shall be placed underground.

f. **Computer Media Information**
All mapping and construction plans shall be prepared in electronic format using the Connecticut Geodetic System for inclusion into the Town's Geographical Information System.

g. **Final Plan Review**
Implicit in the approval of the Special Development District is the requirement that the record plans and exhibits establish the minimum standard of design and improvement for this project. As specific drawings for the project are prepared, refined and detailed, the filed SDD plans and exhibits shall serve to identify the major standards for the quality of design and improvements. The Town Planner in cooperation with Town staff, including but not limited to the Fire Department and the Community Services Department, shall coordinate the final review and approval of the project design to insure compatibility and consistency with the Special Development District Plan approved by the Town Council. No building permit shall be issued and construction shall not begin until all appropriate Town Departments have reviewed and approved the plans as submitted to the Town.

h. **Final Plans**
Final plan submissions and supporting documents shall address the Town Council conditions of approval.

DRAWING LIST

SITE DEVELOPMENT PLAN SET

SHEET	SHEET	PLAN DATE	LATEST REVISIONS
0.00	COVER SHEET	10/17/14	11/30/15
*1.11	BOUNDARY & TOPOGRAPHIC SURVEY	10/17/14	01/13/15
*1.21	ZONE CHANGE MAP	10/17/14	01/13/15
*1.31	LOT DIVISION PLAN	10/17/14	01/13/15
2.11	SITE LAYOUT PLAN	10/17/14	11/30/15
2.21	GRADING & DRAINAGE PLAN	10/17/14	11/30/15
*2.31	SOIL EROSION & SEDIMENT CONTROL PLAN	10/17/14	03/23/15
*2.41	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	10/17/14	01/13/15
2.51	SITE UTILITY PLAN	10/17/14	11/30/15
2.61	PLANTING PLAN	10/17/14	11/30/15
*2.71	LIGHTING PLAN	10/17/14	01/13/15
*3.01	SITE DETAILS	10/17/14	01/13/15
*3.02	SITE DETAILS	10/17/14	11/30/15
3.03	SITE DETAILS	10/17/14	01/13/15

ARCHITECTURAL PLAN SET

SHEET	SHEET	PLAN DATE	LATEST REVISION
*A-1A	EAST & SOUTH ELEVATIONS	10/16/14	01/13/15
*A-1B	EAST & SOUTH ELEVATIONS	10/16/14	01/13/15
*A-2	WEST & EAST ELEVATIONS	10/16/14	01/13/15
*A-3	SOUTH & NORTH ELEVATIONS	10/16/14	01/13/15
*A-4	BUILDING #1 GROUND FLOOR PLAN	10/16/14	01/13/15
*A-5	BUILDING #1 SECOND FLOOR PLAN	10/16/14	01/13/15
*A-6	BUILDING #1 THIRD FLOOR PLAN	10/16/14	01/13/15
*A-7	EAST & WEST ELEVATIONS	10/16/14	01/13/15
*A-8A	SOUTH & NORTH ELEVATIONS	10/16/14	01/13/15
*A-8B	SOUTH & NORTH ELEVATIONS	10/16/14	01/13/15
*A-9	BUILDING #2 GROUND FLOOR PLAN	10/16/14	01/13/15
*A-10	BUILDING #2 SECOND FLOOR PLAN	10/16/14	01/13/15
*A-11A	BUILDING #2 THIRD FLOOR PLAN	10/16/14	01/13/15
*A-11B	BUILDING #2 THIRD FLOOR PLAN	10/16/14	01/13/15
*A-12	EXISTING BUILDING FLOOR PLAN	10/16/14	01/13/15
*A-13	EXISTING BUILDING PHOTO ELEVATIONS	10/16/14	01/13/15

* Not Included In SDD modification submission

SITE DEVELOPMENT PLANS
PREPARED BY:



ARCHITECTURAL PLANS
PREPARED BY:



ATTORNEY:



PLANTING PLAN
PREPARED BY:



APPLICANT

DHR NORTH MAIN STREET, LLC
c/o DAVID RAISNER
3 BARNARD LANE
BLOOMFIELD, CONNECTICUT 06002

ATTORNEY

ROBIN PEARSON
ALTER & PEARSON, LLC
701 HEBRON AVENUE
GLASTONBURY, CONNECTICUT 06033
(860) 652-4020

ENGINEER OF RECORD

KEVIN SOLLI, PE
LICENSE NO. 25759
SOLLI ENGINEERING, LLC
1428 MONROE TURNPIKE
MONROE, CONNECTICUT 06468
(203) 880-5455

ARCHITECT OF RECORD

JACK KEMPER
KEMPER ASSOCIATES ARCHITECTS
790 FARMINGTON AVENUE
FARMINGTON, CONNECTICUT 06032

SURVEYOR OF RECORD

BRYAN NESTERIAK
LICENSE NO. 23556
ACCURATE LAND SURVEYING, LLC
39 NEW HAVEN ROAD
SEYMOUR, CONNECTICUT 06483
(203) 881-8145

LANDSCAPE ARCHITECT

DIAN BARNES
DIAN BARNES LANDSCAPE DESIGN, LLC
3 GILLETTE WAY
FARMINGTON, CONNECTICUT 06032
(860) 916-3396

Rev. #:	Date	Description
3	11/30/15	SDD Modification Approval
2	01/13/15	Approved by Town Council
1	11/21/14	Revised Per Staff Comments

Project:
PROPOSED MULTI-FAMILY TOWNHOME RESIDENTIAL DEVELOPMENT
747 NORTH MAIN STREET
WEST HARTFORD, CONNECTICUT

Sheet Title:	Sheet #:
COVER SHEET	0.00

LOT 1 - ZONING COMPLIANCE TABLE			
ZONE CHANGE: MULTIFAMILY RESIDENCE DISTRICT (RM-2)			
ZONING REQUIREMENT	ZONING STANDARD	PROVIDED	WAIVER REQUIRED
LOT AREA PER DWELLING UNIT (SF / UNIT)	2,000	2,987±	NO
MAXIMUM FLOOR AREA RATIO	1.0	0.59	NO
MAXIMUM LOT COVERAGE OF ALL BUILDINGS	30%	23.86%	NO
FRONT YARD (FT)	50 FT	48.09 FT	YES
SIDE AND REAR YARD - BUILDING 1 (FT)	15.8 FT - SEE NOTE 1	15.00 FT	YES
SIDE AND REAR YARD - BUILDING 2 (FT)	15.3 FT - SEE NOTE 1	15.44 FT	NO
SIDE AND REAR YARD - ACCESSORY BUILDING	2 FT	N/A	N/A
PARKING	15	25	NO
LOADING	1	0	YES
USABLE OPEN SPACE PER DWELLING UNIT	200 SF	729 SF	NO
MAXIMUM HEIGHT - MAIN BUILDING	3 STORIES / 40 FT	31.5 FT	NO
MAXIMUM HEIGHT - ACCESSORY BUILDING	½ STORIES / 15 FT	N/A	N/A
MAXIMUM HORIZONTAL DIMENSION PER BUILDING	250 FT	94.5 FT	NO
MAXIMUM NUMBER OF DWELLING UNITS PER STRUCTURE	20	5	NO

LOT 2 - ZONING COMPLIANCE TABLE			
ZONE CHANGE: MULTIFAMILY RESIDENCE DISTRICT (RM-2)			
ZONING REQUIREMENT	ZONING STANDARD	PROVIDED	WAIVER REQUIRED
LOT AREA PER DWELLING UNIT (SF / UNIT)	2,000	2,829±	NO
MAXIMUM FLOOR AREA RATIO	1.0	0.36	NO
MAXIMUM LOT COVERAGE OF ALL BUILDINGS	30%	25.4%	NO
FRONT YARD (FT)	50 FT	51.06 FT	NO
SIDE AND REAR YARD - MAIN BUILDING (FT)	12.5 FT - SEE NOTE 3	8.17 FT	EXISTING
SIDE AND REAR YARD - ACCESSORY BUILDING	2 FT	7.62 FT	NO
PARKING	18	18	NO
LOADING	1	0	EXISTING
USABLE OPEN SPACE PER DWELLING UNIT	200 SF	537 SF	NO
MAXIMUM HEIGHT - MAIN BUILDING	3 STORIES / 40 FT	<40 FT	NO
MAXIMUM HEIGHT - ACCESSORY BUILDING	½ STORIES / 15 FT	<15 FT	NO
MAXIMUM HORIZONTAL DIMENSION PER BUILDING	250 FT	142.41 FT	NO
MAXIMUM NUMBER OF DWELLING UNITS PER STRUCTURE	20	12	NO

NOTES:
 1. EACH SIDE AND EACH REAR YARD SHALL HAVE A WIDTH OF AT LEAST 1/2 OF THE HEIGHT OF THE BUILDING, INCLUDING TYPE A SCREENING.
 2. TYPE A SCREENING, EXCEPT THAT FOR PARKING AREA WITH 10 OR MORE CAR SPACES ABUTTING A RESIDENTIAL USE, TYPE C SCREENING SHALL BE REQUIRED.
 3. EACH SIDE AND EACH REAR YARD SHALL HAVE A WIDTH OF AT LEAST 1/2 OF THE HEIGHT OF THE BUILDING, INCLUDING TYPE A SCREENING. BUILDING HEIGHT OF 25 FEET AS PROVIDED BY KEMPER ASSOCIATES ARCHITECTS.

PARKING SUMMARY				
USE	NUMBER OF UNITS	TOWN/CITY REQ.	REQUIRED	PROVIDED
LOT 1 - DWELLING FOR 3 OR MORE FAMILIES	10	1/2 PER DWELLING UNIT	15	25
LOT 2 - DWELLING FOR 3 OR MORE FAMILIES	12	1/2 PER DWELLING UNIT	18	18
TOTAL			33	43

NOTE: TOTAL PARKING SPACE COUNT TO BE REDUCED BY ONE SPACE IF ACCESSIBLE PARKING SPACE IS TO BE RELOCATED BASED ON THE CONDITION OF THE SDD APPROVAL REGARDING SAME.

REQUESTED WAIVERS

- FRONT YARD SETBACK - LOT 1
- SIDE AND REAR YARD SETBACK - LOT 1, BUILDING 1
- LOADING SPACE - LOT 1 (PROPOSED)
- LOADING SPACE - LOT 2 (EXISTING NONCONFORMING)
- PARKING SPACE LOCATED WITHIN 15' OF WINDOWS OF HABITABLE ROOMS OF DWELLING UNITS - LOT 1 & LOT 2 (PROPOSED)
- PARKING SPACE DIMENSION - LOT 1

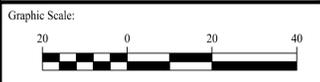
GENERAL NOTES

- EXISTING CONDITIONS INFORMATION TAKEN FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF 747 NORTH MAIN STREET (CT ROUTE 218), WEST HARTFORD, CONNECTICUT, PREPARED FOR SOLLI ENGINEERING" DATED MARCH 3, 2014, SCALE: 1" = 20', BY ACCURATE LAND SURVEYING, LLC.

LEGEND

	PROPERTY LINE/SUBDIVISION
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	BUILDING SETBACK
	EDGE OF PAVEMENT
	BITUMINOUS CONCRETE CURB
	CONCRETE PAVEMENT
	BUILDING LIMITS
	ACCESSIBLE AND STANDARD PARKING SPACES
	BUILDING OVERHANG LINE/PORCH LIMIT
	SAWCUT PAVEMENT LINE
	DUMPSTER
	BOARD ON BOARD FENCE
	CHAIN LINK FENCE WITH BLACK VINYL COATING
	BUILDING ENTRY/DOOR LOCATION
	STANDARD DUTY CONCRETE PAVEMENT AT BUILDING ENTRANCES

Rev. #:	Date	Description
4	11/30/15	SDD Modification Submission
3	01/08/15	Approval By Town Council
2	01/08/15	Revised Per MDC Comments
1	11/21/14	Revised Per Staff Comments



1428 Monroe Turnpike, Monroe, CT 06468
 T: (203) 880-5455 F: (203) 445-9560

Drawn By:	AK
Checked By:	KMS
Approved By:	KMS
Project #:	1305101
Plan Date:	10/17/14
Scale:	1" = 20'

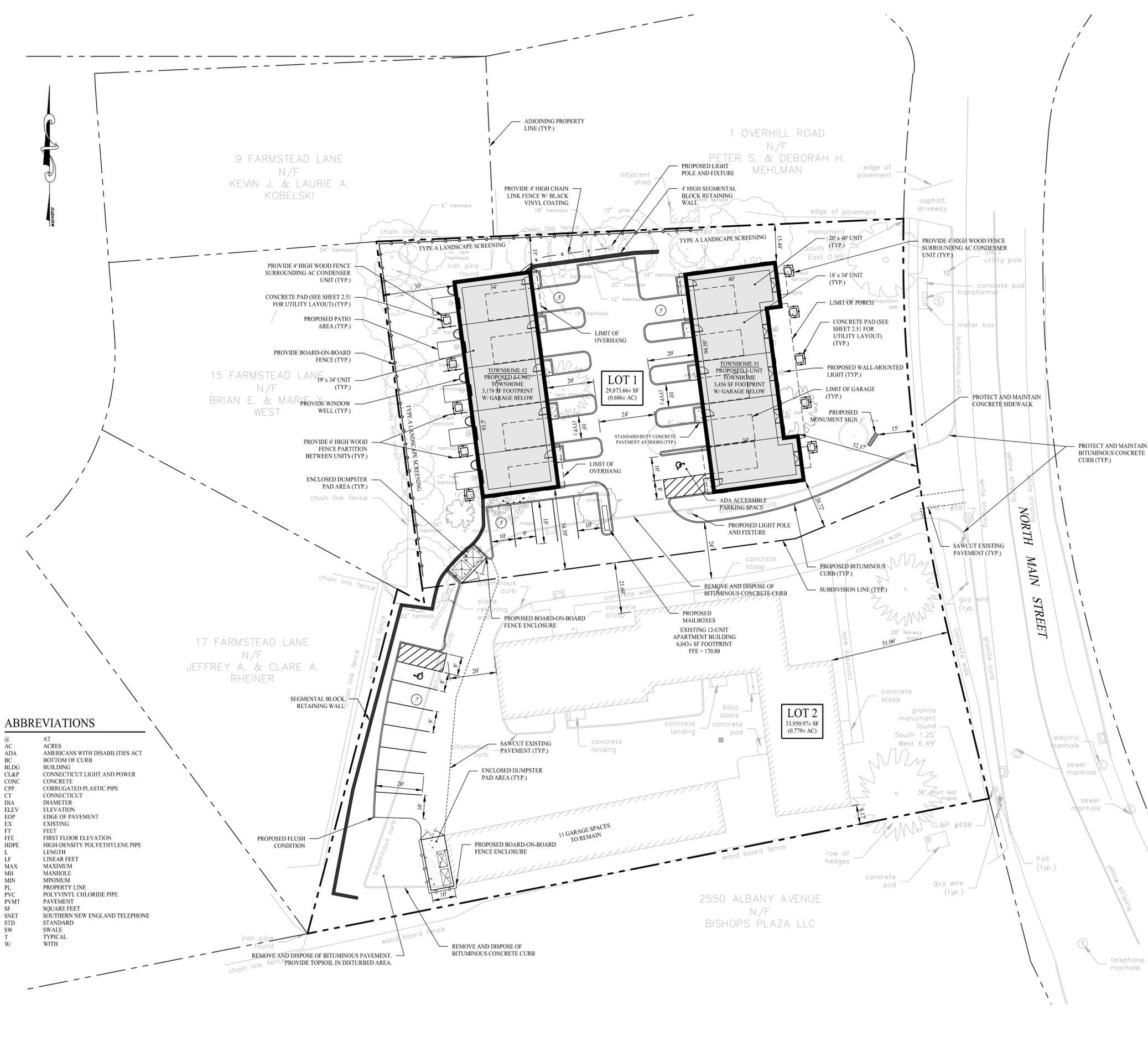
PROPOSED MULTI-FAMILY TOWNHOME RESIDENTIAL DEVELOPMENT
 747 NORTH MAIN STREET
 WEST HARTFORD, CONNECTICUT

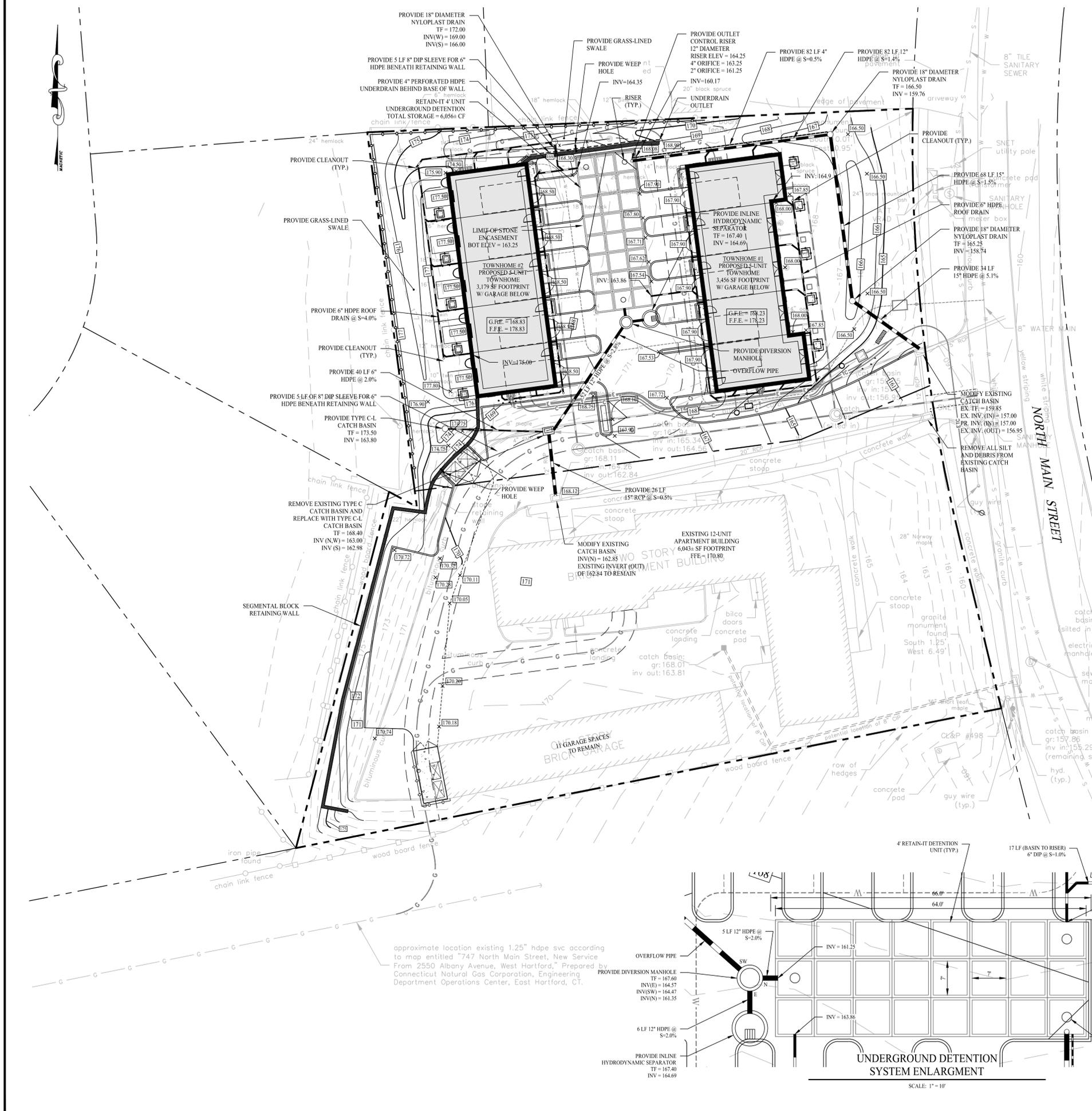
Sheet Title:	SITE LAYOUT PLAN	Sheet #:	2.11
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ABBREVIATIONS

@	AT
AC	ACRES
ADA	AMERICANS WITH DISABILITIES ACT
BC	BOTTOM OF CURB
BLDG	BUILDING
CL&P	CONNECTICUT LIGHT AND POWER
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CT	CONNECTICUT
DIA	DIAMETER
ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
EX	EXISTING
FT	FEET
FFE	FIRST FLOOR ELEVATION
HDPE	HIGH-DENSITY POLYETHYLENE PIPE
L	LENGTH
LF	LINEAR FEET
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
PL	PROPERTY LINE
PVC	POLYVINYL CHLORIDE PIPE
PVMT	PAVEMENT
SF	SQUARE FEET
SNET	SOUTHERN NEW ENGLAND TELEPHONE
STD	STANDARD
SW	SWALE
T	TYPICAL
W	WITH





ABBREVIATIONS

@	BLDG	AT	BUILDING
BW	BLDG	BTM	BOTTOM OF WALL
CB	CATCH BASIN	CB	CATCH BASIN
CIP	CAST IRON PIPE	CF	CUBIC FEET
CL&P	CONNECTICUT LIGHT AND POWER	CO	CLEAN OUT
CONC	CONCRETE	CT	CONNECTICUT
DIA	DIAMETER	DIP	DUCTILE IRON PIPE
ELEV	ELEVATION	EX	EXISTING
FC	FACE OF CURB	FD	FOUNDATION DRAIN
FFE	FIRST FLOOR ELEVATION	FG	FINISHED GRADE
FT	FEET	GFE	GARAGE FLOOR ELEVATION
GTD	GRADE TO DRAIN	HDPE	HIGH-DENSITY POLYETHYLENE PIPE
HP	HIGH POINT	INV	INVERT
LF	LINEAR FEET	MAX	MAXIMUM
MIN	MINIMUM	NTS	NOT TO SCALE
OC	ON CENTER	OD	OUTSIDE DIAMETER
OF	OUTFALL	PVC	POLYVINYL CHLORIDE PIPE
PVMT	PAVEMENT	R	RADIUS
RCP	REINFORCED CONCRETE PIPE	RD	ROOF DRAIN
SD	SLOPE	SCH	SCHEDULE
ST	STORM DRAIN	SF	SQUARE FEET
SNET	SOUTHERN NEW ENGLAND TELEPHONE	STD	STANDARD
SW	SWALE	TBR	TO BE REMOVED
TF	TOP OF FRAME	TW	TOP OF WALL
TYP	TYPICAL	UD	UNDERDRAIN
VF	VERIFY IN FIELD	W	WITH
Δ	DELTA		

GRADING AND DRAINAGE NOTES

- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM THE TOWN OF WEST HARTFORD REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
- THE CONTRACTOR SHALL COMPACT FILL IN 6" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE PROJECT ENGINEER.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY ENGINEER. THE WEST HARTFORD ENFORCEMENT OFFICER AND BUILDING INSPECTOR PRIOR TO THE START OF WORK ON THE SITE.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "SEDIMENTATION AND EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE TOWN OF WEST HARTFORD, OR SOIL CONSERVATION DISTRICT WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
- ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF WEST HARTFORD.
- ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATIONS MANUAL, TOWN OF WEST HARTFORD STANDARDS AND CONNECTICUT DOT SPECIFICATIONS AS APPLICABLE FOR THE LOCATION OF THE WORK. ALL CONSTRUCTION WITHIN TOWN ROADS SHALL COMPLY WITH TOWN OF WEST HARTFORD STANDARDS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE. ALLOW 14 WORKING DAYS FOR REVIEW.
- HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE HI-Q SURE-LOK 10.8 PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPIGOT JOINT MEETING THE REQUIREMENTS OF AASHTO M294. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PULL-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATER TIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
- A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASUREMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASUREMENT OF THE PROPOSED PIPING.
- MANHOLE RIMS AND CATCH BASIN RAISED SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISE OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, DRAINAGE STRUCTURE, SWALE OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER AND THE TOWN OF WEST HARTFORD.
- THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.

GENERAL NOTES

- EXISTING CONDITIONS INFORMATION TAKEN FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF 747 NORTH MAIN STREET (CT ROUTE 218), WEST HARTFORD, CONNECTICUT, PREPARED FOR SOLLI ENGINEERING" DATED MARCH 3, 2014, SCALE: 1" = 20', BY ACCURATE LAND SURVEYING, LLC.

LEGEND

	MAJOR CONTOURS
	MINOR CONTOURS
	SPOT ELEVATION
	RETAINING WALL
	CATCH BASIN
	MANHOLE
	DRAINAGE PIPE
	PROPERTY LINE/SUBDIVISION
	ADJOINING LOT LINE
	PROPOSED BUILDING LIMITS

Rev. #:	Date	Description
4	11/30/15	SDD Modification Submission
3	01/08/15	Approval By Town Council
2	01/08/15	Revised Per MDC Comments
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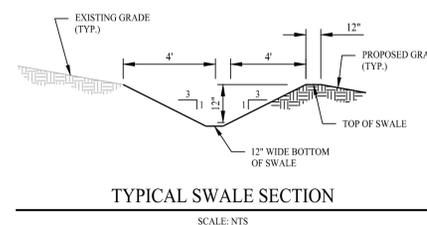
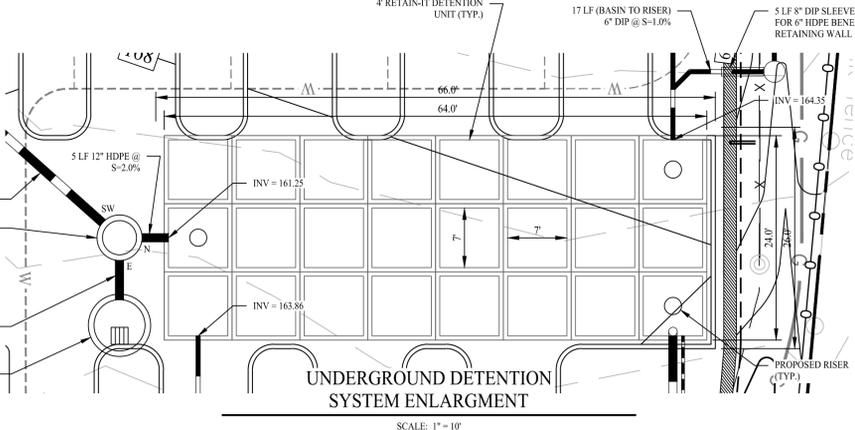


1428 Monroe Turnpike, Monroe, CT 06468
T: (203) 880-5455 F: (203) 445-9560

Drawn By:	AK
Checked By:	KMS
Approved By:	KMS
Project #:	1305101
Plan Date:	10/17/14
Scale:	1" = 20'

PROPOSED MULTI-FAMILY TOWNHOME RESIDENTIAL DEVELOPMENT
747 NORTH MAIN STREET
WEST HARTFORD, CONNECTICUT

Sheet Title:	Sheet #:
GRADING & DRAINAGE PLAN	2.21



approximate location existing 1.25" hdpe svc according to map entitled "747 North Main Street, New Service From 2550 Albany Avenue, West Hartford," Prepared by Connecticut Natural Gas Corporation, Engineering Department Operations Center, East Hartford, CT.

SCALE: 1" = 10'

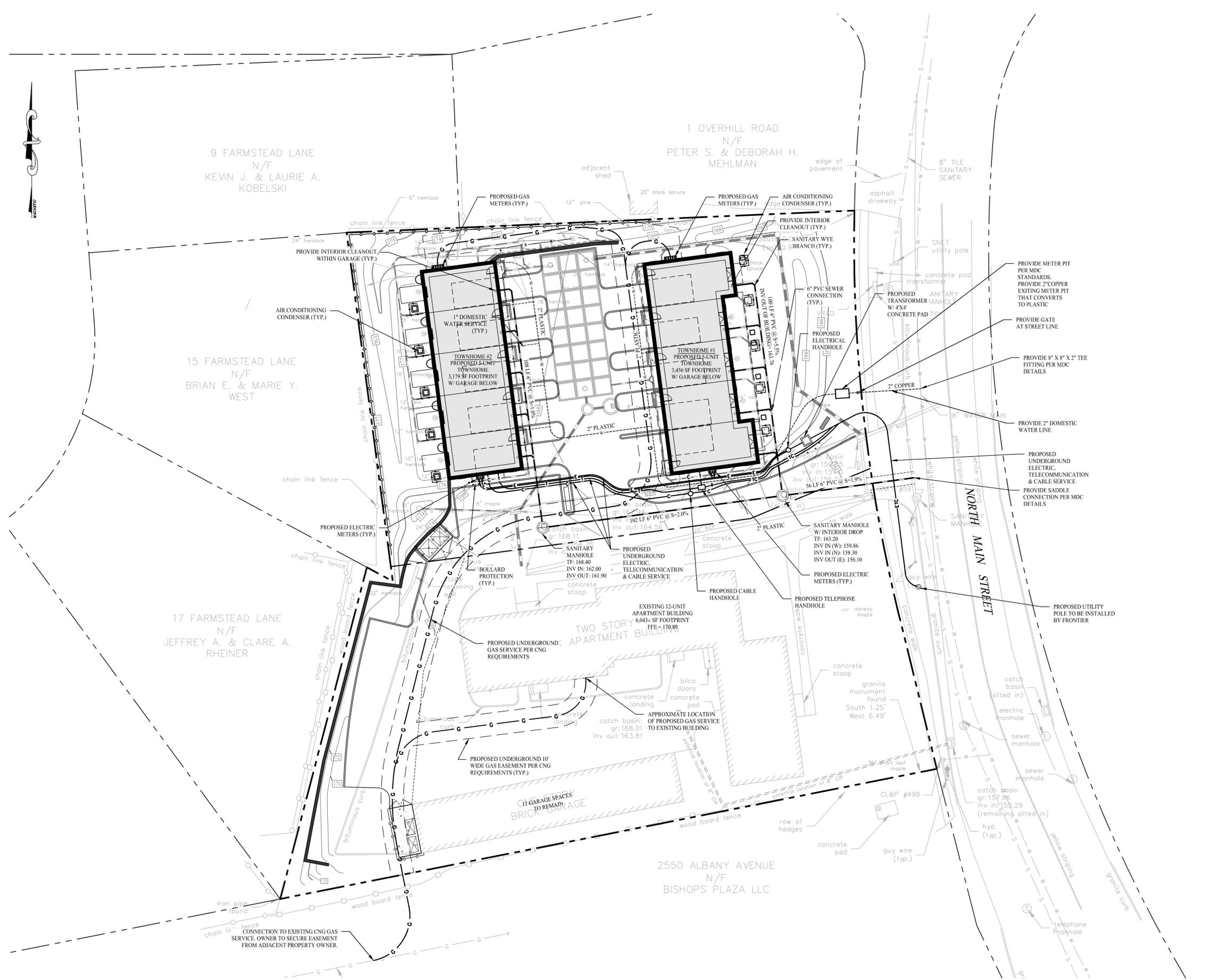
SCALE: NTS

UTILITY NOTES

1. THIS DRAWING IS INTENDED TO DESCRIBE UTILITIES ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM THE TOWN OF WEST HARTFORD AND CT DOT REQUIRED TO PERFORM ALL WORK, INCLUDING STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
4. ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF WEST HARTFORD AND GOVERNING AUTHORITY.

LEGEND

	PROPERTY LINE/SUBDIVISION
	ADJOINING LOT LINE
	RETAINING WALL
	WATER MAIN/LATERAL
	GAS LINE
	UNDERGROUND ELECTRIC, TELEPHONE AND CABLE LINES
	SANITARY SEWER PIPE
	10' WIDE GAS EASEMENT



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4	11/30/15	SDD Modification Submission
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SOLLI ENGINEERING

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Drawn By:	AK
Checked By:	CJB
Approved By:	KMS
Project #:	1305101
Plan Date:	10/17/14
Scale:	1" = 20'

Project:
PROPOSED MULTI-FAMILY TOWNHOME RESIDENTIAL DEVELOPMENT
 747 NORTH MAIN STREET
 WEST HARTFORD, CONNECTICUT

Sheet Title:	Sheet #:
SITE UTILITY PLAN	2.51

747 NORTH MAIN STREET PLANT LIST

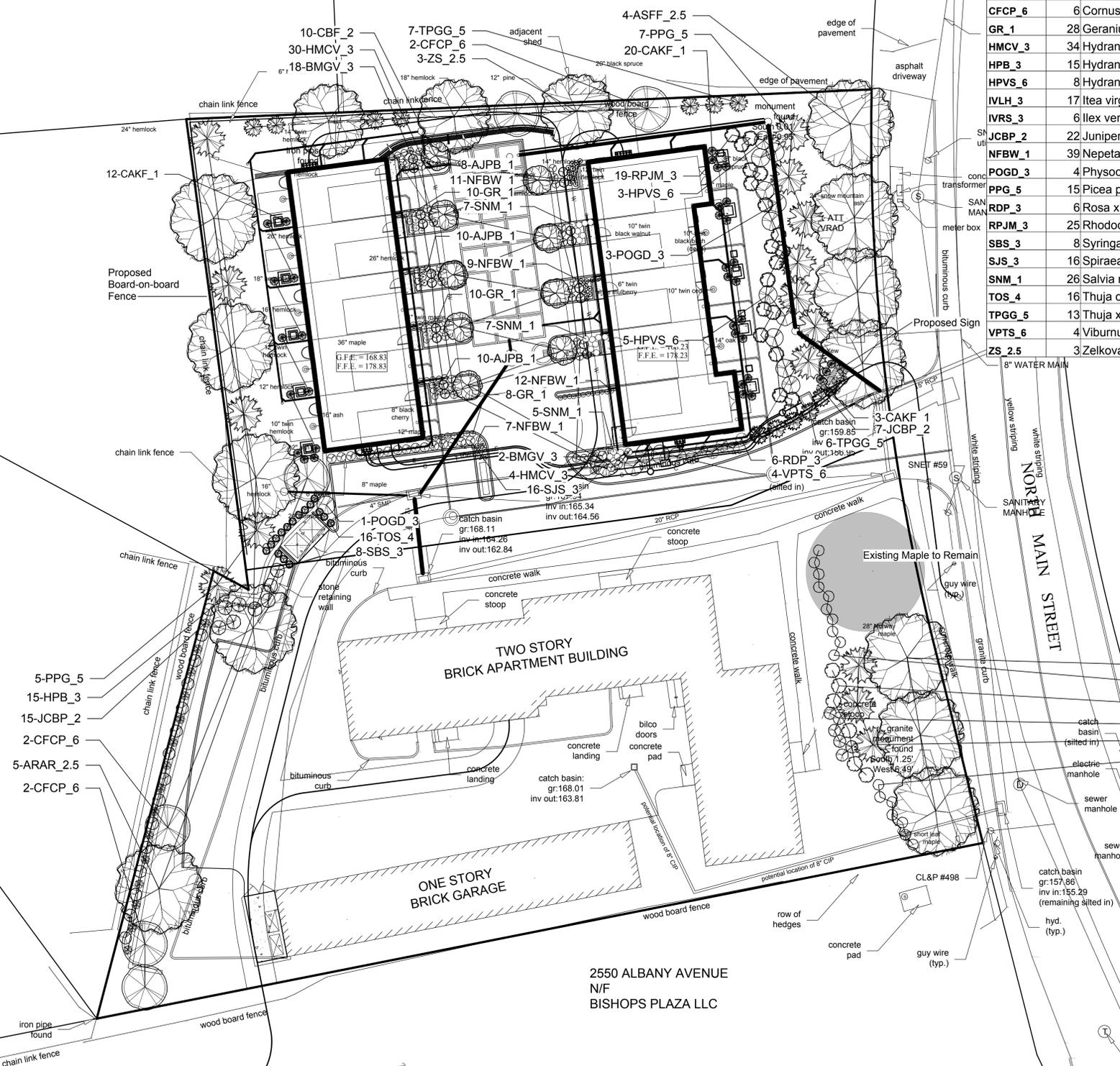
ID	QTY	Botanical Name	Common Name	Scheduled Size
AJPB_1	28	Astilbe japonica 'Peach Blossom'	Peach Blossom False Spirea	1 gal
ARAR_2.5	5	Acer rubrum 'Autumn Radiance'	Autumn Radiance Red Maple	2.5-3" cal., B&B
ASFF_2.5	7	Acer saccharum 'Fall Fiesta'	Fall Fiesta Sugar Maple	2.5-3" cal., B&B
BMGV_3	20	Buxus microphylla 'Green Velvet'	Green Velvet Boxwood	3 gal.
CAKF_1	35	Calamagrostis x acutiflora 'Karl Foerster'	Foerster'S Feather Reed Grass	1 gal.
CBF_2	10	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2-2.5" cal.
CFCP_6	6	Cornus florida 'Cherokee Princess'	Cherokee Princess Flowering Dogwood	6-8' ht., B&B
GR_1	28	Geranium 'Rozanne'	Rozanne Crane's-bill	1 gal
HMCV_3	34	Hydrangea macrophylla 'Cityline Venice'	Venice Cityline Dwarf Hydrangea	3 gal.
HPB_3	15	Hydrangea paniculata 'Bobo'	Bobo Hardy Hydrangea	#3 cont.
HPVS_6	8	Hydrangea paniculata 'Vanilla Strawberry'	Pink Diamond Hydrangea	6 gal.
IVLH_3	17	Itea virginica 'Little Henry'	Little Henry Sweetspire	3 gal.
IVRS_3	6	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	3 gal.
JCBP_2	22	Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	2 gal.
NFBW_1	39	Nepeta x faassenii 'Blue Wonder'	Blue Wonder Catmint	1 gal
POGD_3	4	Physocarpus opulifolius 'Gold's Dart'	Gold's Dart Ninebark	3 gal.
PPG_5	15	Picea pungens var. glauca	Colorado Blue Spruce	5-6' ht. B&B
RDP_3	6	Rosa x 'Double Pink Knock Out'	Double Pink Knock Out Rose	3 gal.
RPJM_3	25	Rhododendron 'PJM'	PJM Rhododendron	3 gal.
SBS_3	8	Syringa 'Bloomerang'	Bloomerang Lilac	3 gal.
SJS_3	16	Spiraea japonica 'Shirobana'	Shirobana Spirea	3 gal.
SNM_1	26	Salvia nemorosa 'Mainacht'	May Night Sage	1 gal.
TOS_4	16	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	4-5' ht. B&B
TPGG_5	13	Thuja x plicata 'Green Giant'	Green Giant Arborvitae	5-6' ht. B&B
VPTS_6	4	Viburnum plicatum tomentosum 'Shasta'	Shasta Doublefile Viburnum	6 gal.
ZS_2.5	3	Zelkova serrata 'Green Vase'	Green Vase Zelkova (R)	2.5-3" cal., B&B

Installation Notes:

- Landscape Architect shall approve any substitutions in plant material.
- Plant material shall conform to the current American Nursery and Landscape Association Standards for Nursery Stock.
- Planting shall conform to the current ANSI A300 Standards.
- Mulch beds shall be cut in around all plants. Double shredded natural pine bark mulch shall be used.

Maintenance Notes:

All Trees, shrubs, perennials, ornamental grasses and lawns shall be maintained by the owner to provide for successful growth in accordance with the design intent of the approved plans. Yearly inspections of plant material survival and compliance with design intent will be conducted in mid-May of each year with replacement or adjustments made by the end of June. Beds shall remain edged and mulched with natural materials to conserve water and provide weed control. Mulch shall be kept clear from the trunks of trees, bases of shrubs, and crowns of perennials. Lawns shall be regularly mown and provided with adequate water and fertilizer to remain well established areas of grass. Inspections for pest problems shall take place annually or as needed. An integrated pest management program for lawn and plantings shall be provided by a licensed CT IPM contractor to ensure proper use of fertilizers and chemicals in a restrained manner and only as needed. Proper watering to ensure thriving lawns and plantings shall be provided. Pruning of trees and shrubs, for both shape and health, by a licensed CT arborist, shall occur at least annually. Perennials and ornamental grasses shall be cut back, divided and/or thinned as needed.



Rev. 11.30.15, Revised 3 plant locations for utility box conflicts
 Rev. 11.24.15, Revised wall at west PL w/ planting additions
 Rev. 11.21.14, 2 Plants out of swale
 Rev. 01.13.15, Approved By Town Council

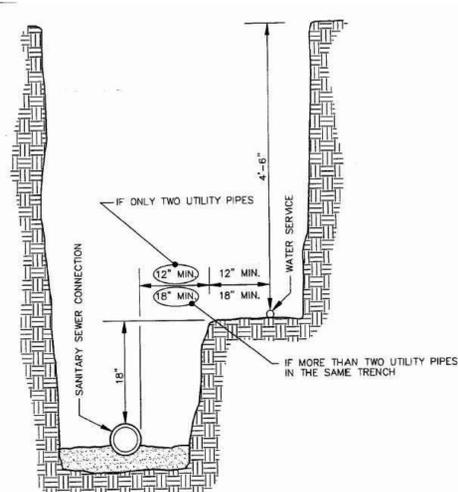
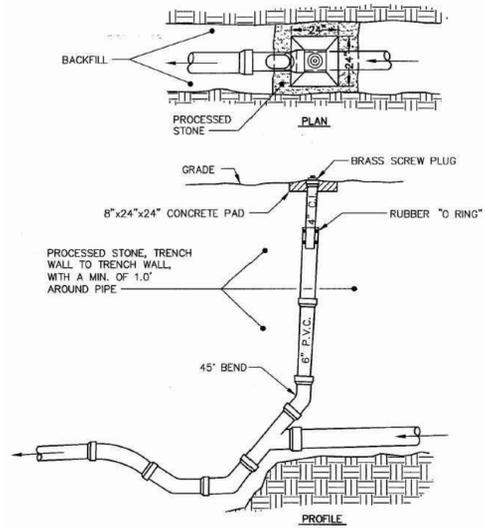
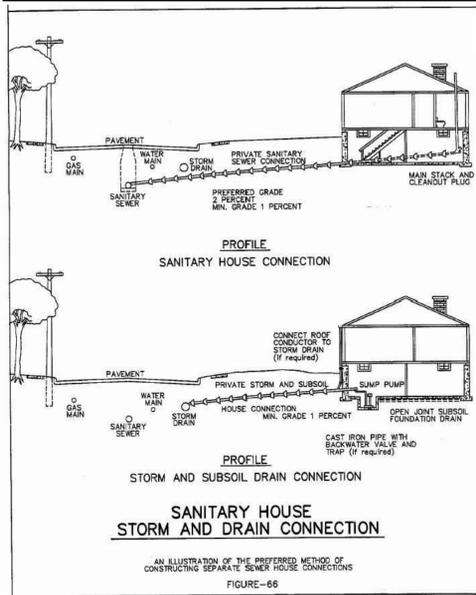


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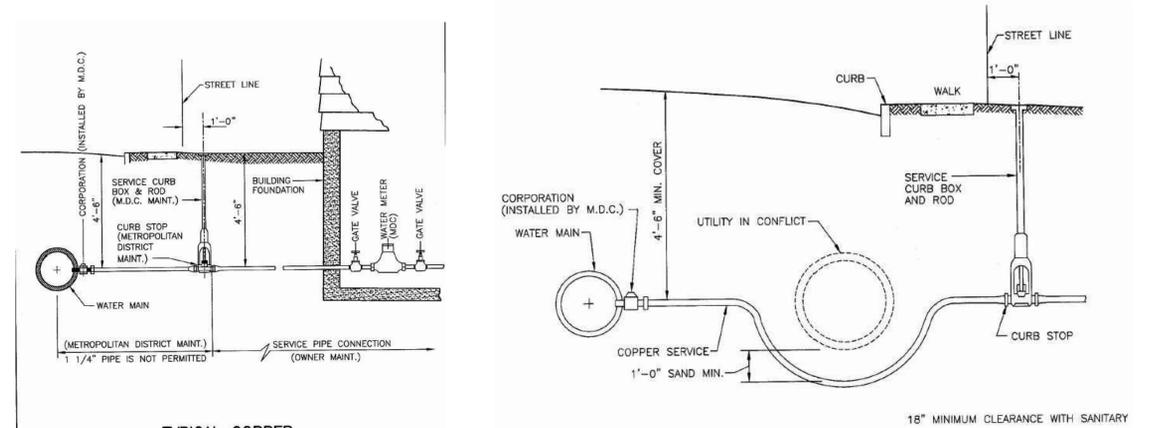
Title 747 North Main Street, West Hartford, CT		
Drawing Number 2.61	Drawn By DLB	Date 10.17.14
File Name Planting Plan		

SEWER CONNECTION DETAILS



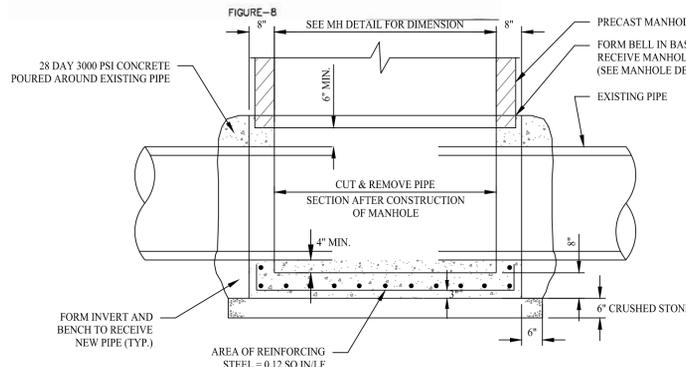
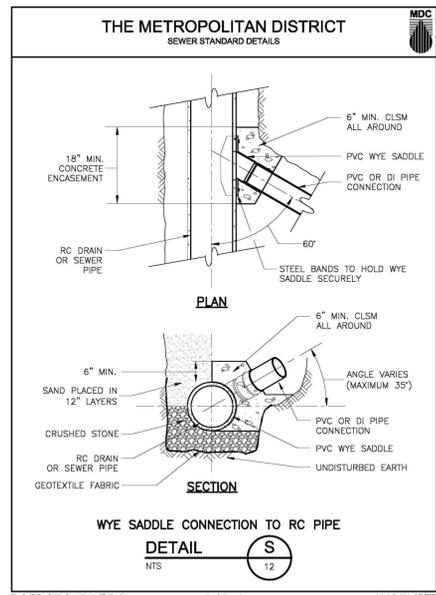
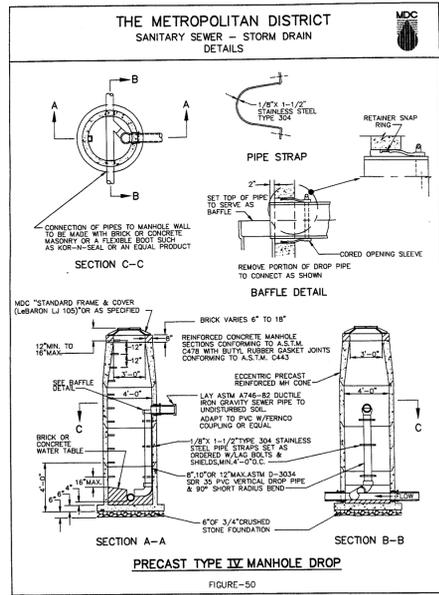
SANITARY SEWER HOUSE CONNECTION AND WATER SERVICE IN TRENCH

WATER CONNECTION DETAILS



TYPICAL COPPER WATER SERVICE

TYPICAL DETAIL COPPER SERVICE OFFSET



TRENCH EXCAVATION NOTES

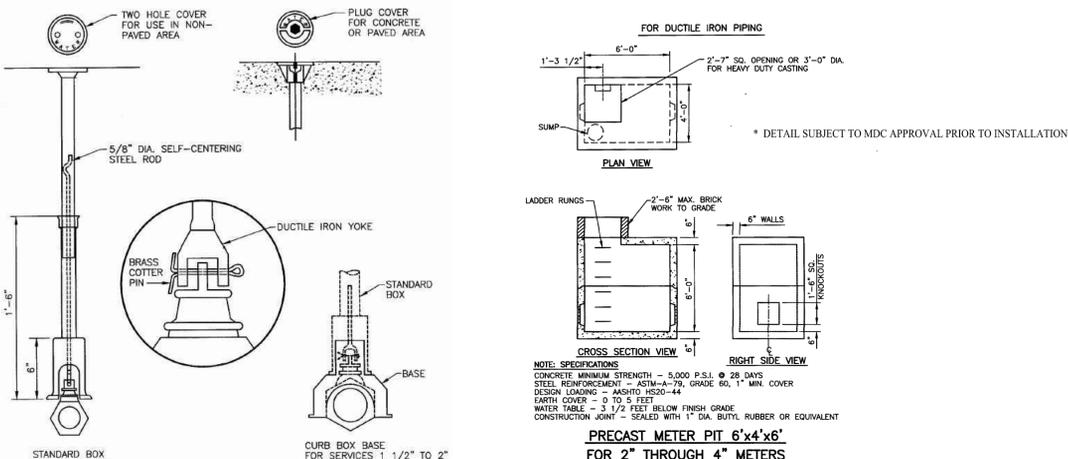
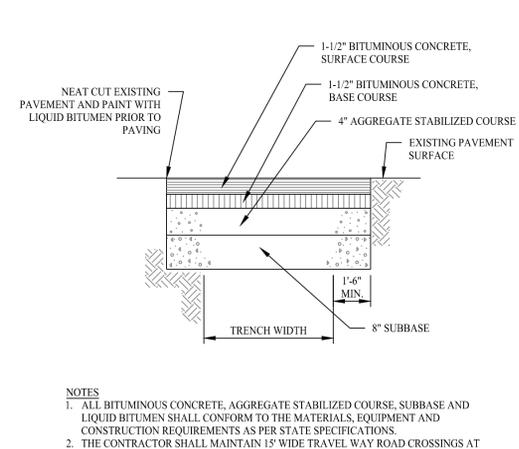
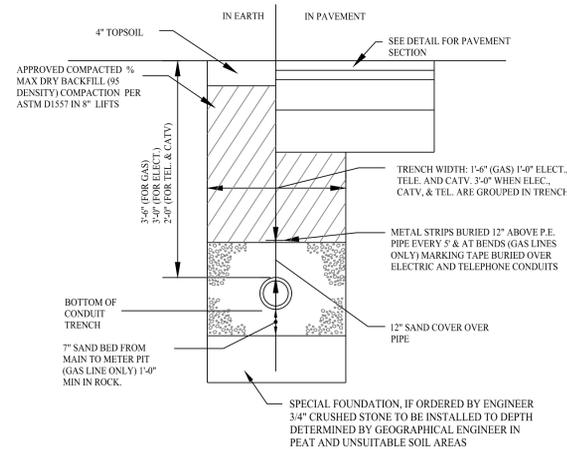
- EXCAVATIONS SHALL BE MADE IN SUCH MANNER AND TO SUCH WIDTH AS REQUIRED TO GIVE SUITABLE ROOM FOR LAYING AND JOINTING THE PIPING OR FOR CONSTRUCTION OF STRUCTURES; ALL SHEETING, BRACING, AND SUPPORTS SHALL BE FURNISHED AND PLACED; ALL COFFERDAMMING, PUMPING, AND DRAINING SHALL BE DONE; AND THE BOTTOMS OF THE EXCAVATIONS SHALL BE RENDERED FIRM AND DRY AND ACCEPTABLE IN ALL RESPECTS.
- THE TRENCH FOR THE PIPE SHALL BE AT LEAST 18-INCHES BEYOND THE OUTSIDE OF THE BARREL OF THE PIPE ON EACH SIDE, THE TOP OF THE BARREL OF THE PIPE SHALL BE AS SHOWN ON THE APPROVED DRAWINGS AND THE BOTTOM OF THE TRENCH SHALL BE AT THE BOTTOM OF THE PIPE.
- HOUSE CONNECTIONS, SHALL BE LAID ON AN EVEN-TAMPED FOUNDATION OF COURSE SAND, OR 3/4-INCH CRUSHED STONE EXCEPT THAT WHEN CLAY, WET, SOFT OR SILTY SOIL CONDITIONS PREVAIL, 3/4-INCH CRUSHED STONE SHALL BE USED FOR FOUNDATION OF ALL PIPE. THE BACKFILL SHALL BE THOROUGHLY COMPACTED BY TAMPING OR OTHER APPROVED METHODS UP TO THE SPRING LINE OF THE PIPE (SEE ALSO PART 2, SECTION 4, BACKFILL OPERATIONS).
- AFTER THE SUBGRADE HAS BEEN PREPARED AND THE PIPE LAID, THE FILL MATERIAL SHALL BE PLACED AND BUILT UP IN SUCCESSIVE LAYERS.
- IN GENERAL, AND UNLESS OTHER MATERIAL IS INDICATED ON THE DRAWINGS, BANK GRAVEL SHALL BE SUITABLE MATERIAL FOR BACKFILLING TRENCHES. BANK GRAVEL SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE M.02.01-2, CONN DOT FORM 814.
- LAYERS OF FILL SHALL NOT EXCEED 6-INCHES IN THICKNESS (LOOSE). THINNER LAYERS SHALL BE USED IF NECESSARY TO ACHIEVE THE REQUIRED COMPACTION. IN EMBANKMENTS THE FILL LAYERS SHALL BE SLIGHTLY CROWNED OR SLOPED TO THE EDGE(S) TO FACILITATE DRAINAGE.

SANITARY CONNECTION NOTES

- APPROVED PVC (POLYVINYLCHLORIDE) PLASTIC PIPE IN LENGTHS NO GREATER THAN 13 FEET FOR 6-INCH PIPE, AS SPECIFIED IN THE DISTRICT'S APPROVED MATERIALS FOR SANITARY SEWER INSTALLATIONS. PLASTIC PIPE SHALL HAVE JOINTS OF THE BELL AND SPOUT TYPE WITH COMPRESSED RUBBER RING GASKETS AND SHALL BE CLEARLY STAMPED WITH THE MANUFACTURER'S NAME.
- CONNECTION OF THE SEWER PIPE WITH THE CAST IRON SOIL PIPE OR PVC PLASTIC SCHEDULE 40 PLUMBING PIPE AT THE NORMAL POINT JUST OUTSIDE THE BUILDING FOUNDATION SHALL BE MADE WITH AN APPROVED "O" RING GASKET OR "FERROC" FITTING. THE DISTRICT MAY LIMIT THE SIZE AND RATE OF GRADE OF PIPE OR LIMIT THE DISCHARGE IN SOME OTHER MANNER, IF THE PROPOSED AMOUNT OF SAID DISCHARGE FROM THE INDIVIDUAL HOUSE CONNECTION OR LOT DRAIN MAY CAUSE OVERLOADING OF ANY PART OF THE PUBLIC SEWER DRAINAGE SYSTEM PER SECTION 52E AND 52F OF THE DISTRICT SEWER ORDINANCES.

WATER SERVICE CONNECTION NOTES

- WATER SERVICE CONNECTIONS MUST BE INSTALLED BY A LICENSED PLUMBING CONTRACTOR WHO IS RESPONSIBLE FOR FURNISHING ALL MATERIALS INCLUDING BUT NOT LIMITED TO TAPPING SLEEVES, TAPPING GATES, CORPORATIONS, SHUT-OFFS, METER CONNECTIONS AND ALL PIPING AS APPROVED BY THE DISTRICT. THE DISTRICT WILL PERFORM THE NECESSARY TAPS IN A PREPARED OSHA APPROVED TRENCH. ALL WATER SERVICE LOCATIONS WILL BE INSPECTED AND DOCUMENTED ON RECORD DRAWINGS BY DISTRICT FORCES.
- SEPARATE FIRE AND DOMESTIC SERVICES ARE REQUIRED EXCEPT BY SPECIAL APPROVAL.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION, TITLE 29 CODE OF FEDERAL REGULATIONS CHAPTER XVII PARTS 1910 - "GENERAL INDUSTRY STANDARDS" AND PARTS 1926 - "CONSTRUCTION INDUSTRY STANDARDS".
- THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR THE SAFETY, EFFICIENCY AND ADEQUACY OF ITS PLANT, APPLIANCES AND METHODS, AND FOR ANY DAMAGE OR INJURY WHICH MAY RESULT FROM THEIR FAILURE OR THE IMPROPER CONSTRUCTION, MAINTENANCE OR OPERATION.
- THE CONTRACTOR SHALL PROPERLY DESIGN AND FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND TOOLS NECESSARY TO COMPLETELY CONSTRUCT THE EXCAVATION SUPPORT SYSTEM PERMANENT OR TEMPORARY, INCLUDING SHEET PILING, TRENCH SHIELDS, TRENCH BOXES, TIMBER TRENCH SHIELDING, PNEUMATIC DRILLING SHORING, STEEL SHEETING OR SHEETING OTHER MATERIALS, SLOPING AND BENCHING. ALL OF THE PROPER MATERIALS AND ALL EQUIPMENT NECESSARY TO PROTECT EMPLOYEES IN EXCAVATIONS AGAINST CAVE-INS SHALL BE FURNISHED AND INSTALLED. ALSO, ALL EMPLOYEES AND THE GENERAL PUBLIC SHALL BE PROTECTED FROM HAZARDS RELATED TO THE CONSTRUCTION. ADEQUATE SUPPORT SYSTEMS SHALL ALSO PROTECT PEOPLE FROM EQUIPMENT WHICH MIGHT FALL OR ROLL INTO AN EXCAVATION, UTILITIES WITHIN OR ADJACENT TO THE EXCAVATION OR WHICH IS IMPACTED BY OPERATIONS UNDER THE CONSTRUCTION.
- THE LICENSED CONTRACTOR SHALL FULLY COMPLY WITH THE STATE OF CONNECTICUT PUBLIC ACT NO. 77-390 IN REGARDS TO THE PROPER NOTIFICATION TO BE GIVEN THE CALL-BEFORE-YOU-DIG CENTRAL CLEARINGHOUSE 1-800-922-4455 PRIOR TO ANY EXCAVATION, DISCHARGING EXPLOSIVES OR DEMOLITION AND TO ALL OTHER ACTIONS CONCERNING WORK NEAR UNDERGROUND UTILITY FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE TRENCH EXCAVATION AND RESTORATION AND SHALL PROVIDE A SAFE AND ADEQUATE TRENCH FOR THE TAPPING OF THE WATER MAIN BY DISTRICT FORCES.
- THE DISTRICT REQUIRES A MINIMUM DEPTH OF 4.5 FEET OF COVER OVER MOST WATER SERVICE PIPES AND SHALL BE LAID ON A SAND BED WITH 1-FOOT OF SAND FILL OVER THE PIPE.
- SUBSEQUENT TO APPROVAL OF THE WATER SERVICE APPLICATION, THE APPLICANT SHOULD CONTACT THE OPERATIONS DEPARTMENT OF THE METROPOLITAN DISTRICT AT 278-7850, EXTENSION 5614 OR 3615 TO SCHEDULE A WATER MAIN TAP.
- ALL SERVICE PIPES INSTALLED SHALL BE VISIBLE FOR THE ENTIRE LENGTH OF THE TRENCH AND SHALL BE INSPECTED FOR TYPE OF PIPE AND FOR WATER TIGHTNESS IN THE PRESENCE OF THE DISTRICT INSPECTOR.
- WATER SERVICES BEFORE THE METER OF 1", 1 1/2" AND 2" SIZE SHALL BE OF TYPE K COPPER TUBING. NO OTHER MATERIAL IS ALLOWED.
- PIPE SHALL NOT BE LAID IN A TRENCH WITH OTHER PIPES OR CONDUITS UNLESS SEPARATED FROM THE OTHER PIPES OR CONDUITS BY AT LEAST 2 FEET AND LAID ON UNDISTURBED EARTH. SERVICE PIPES SHALL BE LAID AT LEAST 10 FEET AWAY FROM ANY SEPTIC TANK LEACHING FIELD. THE INSPECTOR, WHERE POSSIBLE, SHOULD SEE THAT THE SERVICE WILL NOT BE UNDER ENTRANCE WALKS, DRIVEWAYS, TREES, LARGE Boulders OR OTHER OBSTRUCTIONS AND IN THE CASE OF RENEWAL OF OLD SERVICES SHOULD RECOMMEND RENEWING IN A NEW LOCATION IN ORDER TO AVOID ANY OF THESE OBSTRUCTIONS.
- AS SOON AS PRACTICABLE AFTER THE PIPES HAVE BEEN LAID, WARNING TAPE SHALL BE PLACED APPROXIMATELY 2 FEET ABOVE THE PIPE. THE TRENCHES SHALL BE FILLED IN 6-INCH LAYERS AT LEAST TO A LEVEL 12-INCHES ABOVE THE TOP OF THE PIPE WITH BANK GRAVEL. COMPACTED IN ACCORD WITH THE REQUIREMENTS BELOW. EACH LAYER TO BE LEVELLED AND THOROUGHLY COMPACTED TO THE SATISFACTION OF THE DISTRICT BEFORE THE NEXT LAYER IS DEPOSITED. THE WHOLE WORK OF BACKFILLING SHALL BE DONE IN A MANNER WHICH WILL PREVENT SUBSEQUENT SETTLEMENT AND INJURY TO THE PIPE.
- THE CONTRACTOR IN COOPERATION WITH DISTRICT FORCES SHALL STERILIZE THE NEW WATER SERVICE PIPELINES AND SECTIONS THEREOF BY USING A MODIFICATION OF THE TABLET METHOD AS DESCRIBED IN SEC 5.1 OF THE LATEST EDITION OF ANSI/AWWA C651, "STANDARD FOR DISINFECTING WATER MAINS". THE APPROPRIATE NUMBER OF FIVE (5) GRAM CALCIUM HYPOCHLORITE TABLETS AS SHOWN IN TABLE 1 SHALL BE CEMENTED IN EACH LENGTH OF PIPE BY THE CONTRACTOR. TABLETS ARE TO BE ATTACHED BY AN ADHESIVE SUCH AS PERMATEX NO 2C TO THE TOP OF EACH PIPE. SUBSEQUENT TO THE COMPLETION OF THE WATER SERVICE LINES, THEY SHALL BE FILLED WITH WATER AS PART OF THE TABLET METHOD OF STERILIZATION. THE WATER SHALL REMAIN IN THE PIPELINES A MINIMUM OF 24 HOURS BEFORE FLUSHING.
- AFTER FINAL FLUSHING AND BEFORE PLACING THE WATER SERVICE PIPELINES IN SERVICE, DISTRICT FORCES WILL MAKE THE APPROPRIATE BACTERIOLOGICAL TESTS. IF THE WATER SERVICE FAILS THESE TESTS, THE DISTRICT WILL REQUIRE ADDITIONAL STERILIZATION FLUSHING AND TESTING. ALL EXPENSE FOR THIS ADDITIONAL WORK WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE DISTRICT TO FLUSH THE SYSTEM SUBSEQUENT TO STERILIZATION. THE DISTRICT WILL BE RESPONSIBLE FOR OPERATING THE GATE VALVES IN THE STREET IF NECESSARY, AND TO SUPPLY MATERIALS FOR NEUTRALIZING THE CHLORINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING EQUIPMENT NECESSARY TO PERFORM THE FLUSHING OPERATION AND DETERMINING WHERE THE WATER WILL DRAIN DURING THE FLUSHING OPERATION SO AS NOT TO FLOOD AREAS OR CAUSE DAMAGE TO PROPERTY.



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Sheet #:	3.03