



MINUTES

Regular Hybrid West Hartford Town Council Meeting Tuesday, June 22, 2021 at 7:30 p.m.

This meeting was held in Legislative Chambers, Room 314 and was also available remotely in accordance with Governor Lamont's executive orders concerning the conduct of virtual meetings and proceedings and the public had the ability to view the meeting in real-time on West Hartford Community Interactive: Comcast Channel 5, Frontier TV Channel 6098, and streaming on the WHCI website.

1. Meeting Opening

A. Call to Order

Mayor Cantor called the meeting to order at 7:35 PM and read special rules and procedures for the meeting.

B. Pledge of Allegiance

C. Roll Call (in person and via video)

Present in person: Councilor Blanks, Mayor Cantor, Deputy Mayor Davidoff, Councilor Gold, Councilor Sweeney and Councilor Wenograd

Present virtually: Councilor Fay and Councilor Kerrigan

Absent: Councilor Williams

2. Public Forum

Christine Feely (in person) – 282 Westpoint Terrace – Spoke in favor of Item 7C West Hartford's Energy Plan

Bernard Pelletier (in person) – 21 North Cliff Drive - Spoke in favor of Item 7C West Hartford's Energy Plan

Samantha Dynowski (virtually) - 53 Woodrow Street - Spoke in favor of Item 7C West Hartford's Energy Plan

Hendree Milward (virtually) – 78 Lemay Street - Spoke in favor of Item 7C West Hartford's Energy Plan

3. Consent Calendar

A. MOTION TO PLACE ITEMS 4A, 4B, 4C, 5C, 5D, 5E, 7B, 7D, 7E and 7F ON CONSENT (DAVIDOFF) SECOND (SWEENEY)

MOTION CARRIES (8 YEA, 0 NAY)

YEA: (8) Councilor Blanks, Mayor Cantor, Deputy Mayor Davidoff, Councilor Fay, Councilor Gold, Councilor Kerrigan, Councilor Sweeney and Councilor Wenograd

NAY: (0)

4. Approval of Minutes

A. Town Council Meeting Minutes 06-08-2021

CONSENT

B. Public Hearing Minutes 06-08-2021: Ordinance Establishing a Procedure for the Honorary and Historic Renaming of Public Streets

CONSENT

C. Public Hearing Minutes 06-08-2021: Resolution Approving Programs Eligible for the Neighborhood Assistance Act Tax Credit Program

CONSENT

5. Reports and Communications

A. Town Manager Report

Town Manager Matthew W. Hart reported to Council

B. Corporation Counsel Report

Corporation Counsel Dallas C. Dodge reported to Council

C. Communication from Brian Greenleaf resigning from the Human Rights Commission effective 04-29-2021

CONSENT

D. Notice of Town Planner's Intention to Approve, pursuant to section 177-44C (9)(b),(d), a request on behalf of Dotcom Wine Spirits Inc./DBA Maximum Beverage for revisions to the approved Special Development District plan (SDD #68) located at 340 North Main Street. The request is for minor architectural modifications to the façade of the building and for minor adjustment to the approved landscaping.

CONSENT

E. Notice of Town Planner's Intention to Approve, pursuant to section 177-44C(9)(d), a request on behalf of Seritage Growth Properties for revisions to the approved Special Development District plan (SDD #6) located at 1445 New Britain Avenue. The request is for the minor architectural modifications to the building façade to accommodate an expanded outdoor dining area.

CONSENT

6. Unfinished Business

A. Resolution Authorizing the Town Manager to Execute Quit Claim Deeds Regarding Rights of Way Across 49 Brainard Road and 48 Sequin Road. (1013)

MOTION TO ADOPT (DAVIDOFF) SECOND (SWEENEY)

MOTION CARRIES (8 YEA, 0 NAY)

YEA: (8) Councilor Blanks, Mayor Cantor, Deputy Mayor Davidoff, Councilor Fay, Councilor Gold, Councilor Kerrigan, Councilor Sweeney and Councilor Wenograd

NAY: (0)

7. New Business

A. Application filed on behalf of 409 Prospect, LLC, owner of 405-409 Prospect Avenue District. The stated purpose of the application is to request a Special Development District (SDD) designation for approximately .355 acres of RM-1 zoned property. The property received site plan approval for the construction of townhome style dwelling units in 2019. The request for SDD designation would facilitate changes to the approved architectural plans and building massing. The site is currently under construction. (759)

MOTION TO RECEIVE AND SET FOR PUBLIC HEARING ON AUGUST 17, 2021 AT 6:00 PM AND REFER TO TPZ, DRAC, CRCOG AND CITY OF HARTFORD (DAVIDOFF) SECOND (SWEENEY)

MOTION CARRIES (8 YEA, 0 NAY)

YEA: (8) Councilor Blanks, Mayor Cantor, Deputy Mayor Davidoff, Councilor Fay, Councilor Gold, Councilor Kerrigan, Councilor Sweeney and Councilor Wenograd

NAY: (0)

B. Resolution Amending the Fiscal Year 2021-2022 Budget of the Community Development Block Grant Fund (1289)

CONSENT

C. Resolution Implementing the Town of West Hartford Energy Plan (1258)

MOTION TO ADOPT (DAVIDOFF) SECOND (SWEENEY)

MOTION CARRIES (7 YEA, 0 NAY, 1 ABSTAIN)

YEA: (7) Councilor Blanks, Mayor Cantor, Deputy Mayor Davidoff, Councilor Fay, Councilor Kerrigan, Councilor Sweeney and Councilor Wenograd

NAY: (0)

ABSTAIN: (1) Councilor Gold

D. Appointment of Tekisha Dwan Everette to the Human Rights Commission for a term ending 12-31-2022.

CONSENT

E. Appointment of C. James Lawler as an Alternate Member to the Design Review Advisory Committee for a term ending 12-31-2024.

CONSENT

F. Appointment of Perry Salonia as a Member of the Pension Board for a term ending 12-31-2024.

CONSENT

SUSPENSE ITEMS

Motion to open the agenda for consideration of A RESOLUTION DIRECTING THE TOWN MANAGER TO STUDY AND MAKE RECOMMENDATIONS FOR THE SAFE AND RESPONSIBLE LOCAL REGULATION OF ADULT-USE AND SALE OF CANNABIS IN WEST HARTFORD. (DAVIDOFF)

There being no objection, the item was added to the agenda.

MOTION TO ADOPT (DAVIDOFF)

MOTION CARRIES (8 YEA, 0 NAY)

YEA: (8) Councilor Blanks, Mayor Cantor, Deputy Mayor Davidoff, Councilor Fay, Councilor Gold, Councilor Kerrigan, Councilor Sweeney and Councilor Wenograd

NAY: (0)

8. Announcements

Upcoming events were reported by Mayor Cantor

9 . Executive Session

A. Without objection, Motion to Enter Executive Session pursuant to section 1-200(6)(B) regarding strategy and negotiations with respect to pending claims or pending litigation, to wit a dispute concerning the acceptance of Cadwell Street as a public street.

There being no objection, the Town Council entered Executive Session at 8:49 PM with the following non-council members in attendance: Matt Hart, Town Manager; Dallas C. Dodge, Corporation Counsel; Gina Varano, Deputy Corporation Counsel; Duane Martin, Town Engineer and John Phillips, Director of Public Works.

Exited Executive Session at 9:37 PM

AFTER EXECUTIVE SESSION

Without objection, Motion to Open the agenda for consideration of A RESOLUTION ACCEPTING CADWELL STREET AS A PUBLIC STREET (DAVIDOFF)

There being no objection, the item was added to the agenda.

Without objection, Motion to Refer item to the Town Plan and Zoning Commission. (DAVIDOFF)

There being no objection, the motion carries.

10. Adjournment

Without objection, Motion to Adjourn (DAVIDOFF)

There being no objection, the motion carries.

Meeting adjourned at 9:40 PM

Essie S. Labrot

-Essie S. Labrot, Town Clerk/Council Clerk

***Dotcom Wine Spirits Inc. / Maximum Beverage
340 North Main Street
West Hartford, CT 06117***

May 25, 2021

Mr. Todd Dumais
Town Planner
Town of West Hartford
50 South Main Street
West Hartford, CT 06107

RE: SDD # 68 340 North Main Street. West Hartford, Connecticut – Administrative Adjustment Request Pursuant to Codes Section 177-44C. (9)

Dear Mr. Dumais,

On behalf of Dotcom Wine Spirits Inc./DBA Maximum Beverage, we request approval of an administrative adjustment pursuant to section 177-44C. (9) of the West Hartford code of Ordinances.

Adjustments to the recorded plan are all considered enhancements and will contribute to the overall suitability for our customers. The following are the adjustments:

1. Mechanical units were relocated to a pad to the north corner of the storefront due to a lack of access to the roof through Whole Foods.
2. Stanley swing doors were substituted with Stanley sliding doors due to production delays. In hindsight the doors are more suitable for retail customer traffic and will enhance the storefront.
3. Privacy fencing was added to shield the mechanical units which will add to the overall aesthetics of the project.
4. After consultation with Mr. Hesketh, our civil engineer, it was determined that a walkway leading directly to the sliding doors would improve both the aesthetics of the landscape plan and improve access to the store.
5. In constructing the walkway, landscaping materials were relocated, and no quantities were removed.

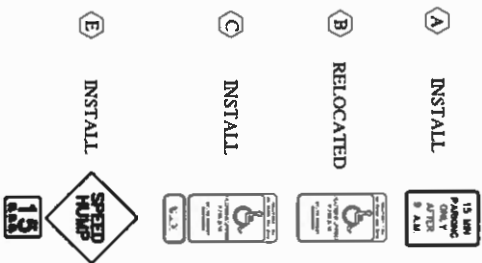
Overall, the proposed adjustments appear to fall within the criteria in section 177-44.C (9) by which you as the Town Planner may approve an application to make administrative adjustments to an approved SDD.

Please let me know if you require additional information.

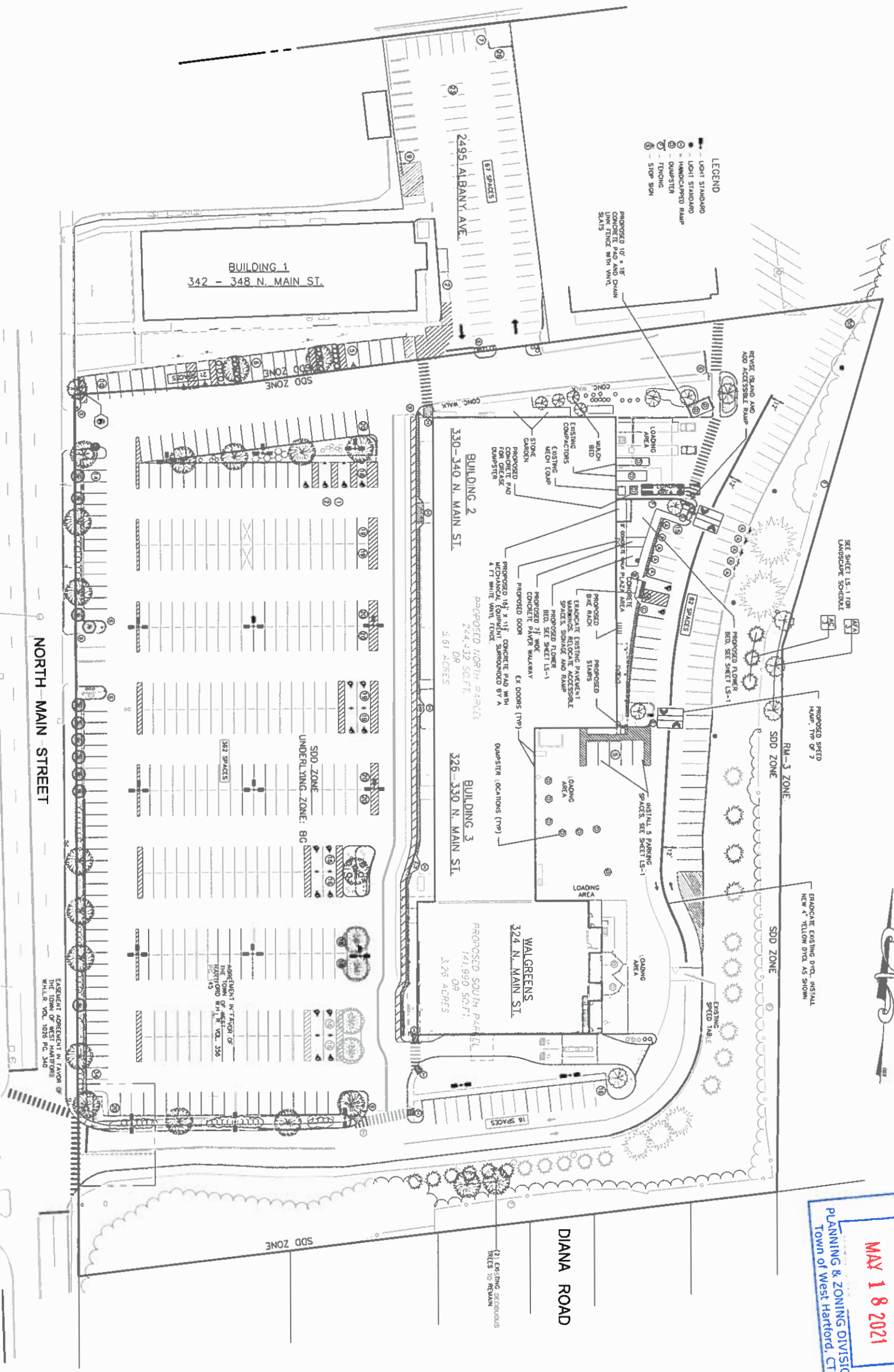
Respectfully Submitted,

Brian D. Whitney
Maximum Beverage

SIGNAGE LEGEND



LEGEND
● LIGHT STANDARD
○ HANDICAPPED TRAMP
○ DUMPSTER
○ FENCING
○ STOP SIGN



PARKING COUNT

2495 Albany Ave. & 342-348 North Main Street	
Existing Parking East	67
Existing Parking South	21
342-348 North Main Street	
Existing Parking West	362
Existing Parking South	16
Existing/Proposed Parking East	76
TOTAL	538

PARKING DATA TABLE (2495 Albany Ave. - 342-348 North Main St.)

USE	Sq. Ft./Vehicle	Vehicle Required	Vehicle Allowed
Storage/Utility/Corporation	17,691	N/A	0
Personnel Services	18,333	1 sq/150 sq ft (838)	11
Warehouse	10,684	1 sq/150 sq ft (838)	6
Office	23,072	1 sq/250 sq ft (838)	93
Garage	3,710	1 sq/150 sq ft (838)	21
TOTAL	61,400		223

PARKING DATA TABLE (342-348 North Main St.)

USE	Sq. Ft./Vehicle	Vehicle Required	Vehicle Allowed
Storage/Utility/Corporation	17,691	N/A	0
Personnel Services	18,333	1 sq/150 sq ft (838)	11
Warehouse	10,684	1 sq/150 sq ft (838)	6
Office	23,072	1 sq/250 sq ft (838)	93
Garage	3,710	1 sq/150 sq ft (838)	21
TOTAL	61,400		223

PARKING DATA TABLE (324-332 North Main St.)

USE	Sq. Ft./Vehicle	Vehicle Required	Vehicle Allowed
Storage/Utility/Corporation	17,691	N/A	0
Personnel Services	18,333	1 sq/150 sq ft (838)	11
Warehouse	10,684	1 sq/150 sq ft (838)	6
Office	23,072	1 sq/250 sq ft (838)	93
Garage	3,710	1 sq/150 sq ft (838)	21
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Office	23,072	1 sq/250 sq ft (838)	93
Garage	3,710	1 sq/150 sq ft (838)	21
TOTAL	61,400		223

RECEIVED
MAY 18 2021
PLANNING & ZONING DIVISION
Town of West Hartford, CT

MAX BEVERAGE
340 NORTH MAIN STREET - LOWER LEVEL

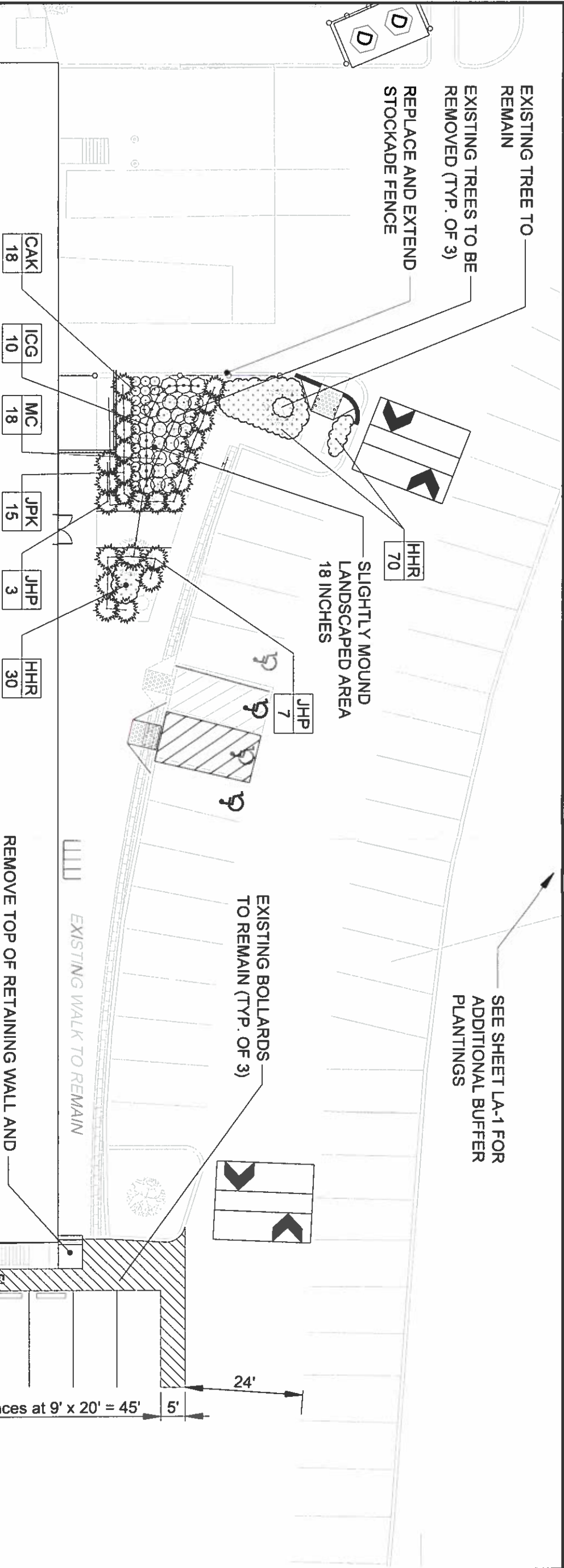
F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026 • 148 N W Broad Street, Southern Pines, NC 28387
Phone (860) 653-8000 • Fax (860) 844-8600 • Phone (910) 692-2844 Fax (910) 692-3356
Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects

Revisions		
No	Date	Description
12	8-09-12	TOWN COMMENTS 7/26/12
13	8-14-12	TOWN COMMENTS
14	8-20-12	ADJUST SF USAGE
15	6-29-17	HARTFORD HEALTHCARE SDD
16	7-08-2020	MAX BEVERAGE SDD
17	8-20-2020	REPLY TO TOWN COMMENTS
18	10-08-2020	FIELD NOTES & AGREEMENTS
19	5-18-2021	FIELD REVISIONS

LA-1

LAYOUT PLAN
PREPARED FOR
MAX BEVERAGE
AND
POLO/WEST HARTFORD, LLC
340 NORTH MAIN STREET
WEST HARTFORD, CT 06117

Date: 11-17-08 Drawn by: CAD Job no.: 02217
Scale: 1" = 40' Checked by: DSZ Sheet no.: 1 OF 1



LANDSCAPE SCHEDULE

Deciduous Canopy Trees					
Symbol	Botanical Name	Common Name	Quantity	Size	Root
AFA	Acer x Freeman's Autumn Blaze	Autumn Blaze Maple	3	3 in 3 1/2 inch caliper	Balled and Burlapped
Evergreen Trees					
Symbol	Botanical Name	Common Name	Quantity	Size	Root
AC	Abies concolor	White Fir	3	6 to 7 foot height	Balled and Burlapped
Broadleaf Evergreen Shrubs					
Symbol	Botanical Name	Common Name	Quantity	Size	Root
ICG	Ilex cornuta 'Green Lustre'	Green Lustre Japanese Holly	10	24 to 30 inch height	#3 Container
Evergreen Shrubs					
Symbol	Botanical Name	Common Name	Quantity	Size	Root
JPK	Juniperus x pfitzeriana 'Kadley's Compact'	Compact Pfitzer Juniper	15	24 to 30 inch spread	#3 Container
JHP	Juniperus horz. 'Pumilus Compacta'	Andorra Juniper	10	24 to 30 inch spread	#3 Container
Grasses					
Symbol	Botanical Name	Common Name	Quantity	Size	Root
CAK	Calamagrostis canadensis 'Karl F. Foerster'	Karl F. Foerster Reed Grass	18	18 to 24 inch height	#1 Container
MC	Microstegium capillare	Muhly Grass	18	15 to 18 inch height	#1 Container
Perennials					
Symbol	Botanical Name	Common Name	Quantity	Size	Root
HHR	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	180	12 to 15 inch height	#1 Container

LANDSCAPE NOTES

1. All plants shall meet or exceed the specifications of Federal, State and County laws requiring inspection for plant disease and insect control.
2. Plant material shall conform with the "American Standard for Nursery Stock" by the American Association of Nurserymen, Inc. (ANSI Z60.1-2004).
3. All plants shall be certified true to name by the nursery source. Plant names shall be in accordance with "Nodus Thirde" (1978) by the staff of the Liberty Hyde Bailey Herbarium, Cornell University. One plant from each species shall be tagged with name and size of the plant in accordance with the standards of practice of the American Association of Nurserymen. Botanical names shall take precedence over common names.
4. Plant material shall be typical of their species and/or variety with a normal habit of growth, sound, healthy and vigorous. They shall be well branched and densely foliated when in leaf, free of disease, insect pest, eggs or larvae. They shall have healthy well-developed root systems.
5. All landscaped areas to have 2" shredded bark mulch (color black) over weed control fabric. No weed control fabric in areas of perennial plantings.
6. Provide protective coverings of plant material during delivery and storage. Root balls shall not be cracked or broken. Do not prune plants prior to delivery. Remove unacceptable plant material immediately from the job site.
7. Plant locations on the Drawings are approximate and are to be used only as a guide. Contractor shall provide all field engineering services to accurately stake out locations for all plants prior to installation. Do not begin excavation until Project Landscape Architect has approved specific layout.
8. Perform all cultural care necessary to properly maintain plant viability and keep planted areas in a neat and orderly condition, including but not limited to:

a. Watering

b. Weed removal

c. Apply lime or sulphur to adjust soil pH to specific plant requirements

d. Restore or reshape each saucers

e. Pruning

f. Replace mulch to maintain proper depth

REMOVE TOP OF RETAINING WALL AND CONSTRUCT 5' x 5' CONCRETE PAD FLUSH WITH ADJACENT PAVEMENT. INSTALL CONCRETE STAIRS DOWN TO EXISTING CONCRETE WALK. INSTALL HANDRAIL

PRECAST CONCRETE WHEEL STOP (TYPICAL OF 3)

RELOCATE EXISTING DUMPSTERS

YELLOW PAINTED STRIPING (TYP.)

LS-1

LAYOUT AND LANDSCAPE PLAN
PREPARED FOR
MAX BEVERAGE
AND
POLO/WEST HARTFORD, LLC
340 NORTH MAIN STREET
WEST HARTFORD, CT 06117
Date 07-09-2020 Drawn by KLL Job no: 02217
Scale: 1" = 10' Checked by 052 Sheet no: 1 OF 1

Revisions.

No	Date	Description
1	08-19-2020	Reply to Town Comments
2	10-08-2020	Field Notes & Agreements
3	05-18-2021	Field Condition Revisions

MAX BEVERAGE

340 NORTH MAIN STREET – LOWER LEVEL

F. A. Hesketh & Associates, Inc.

3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8800
CMT & Traffic Engineers • Surveyors • Planners • Landscape Architects www.fahesketh.com • info@fahesketh.com

PLANNING & ZONING DIVISION
Town of West Hartford, CT

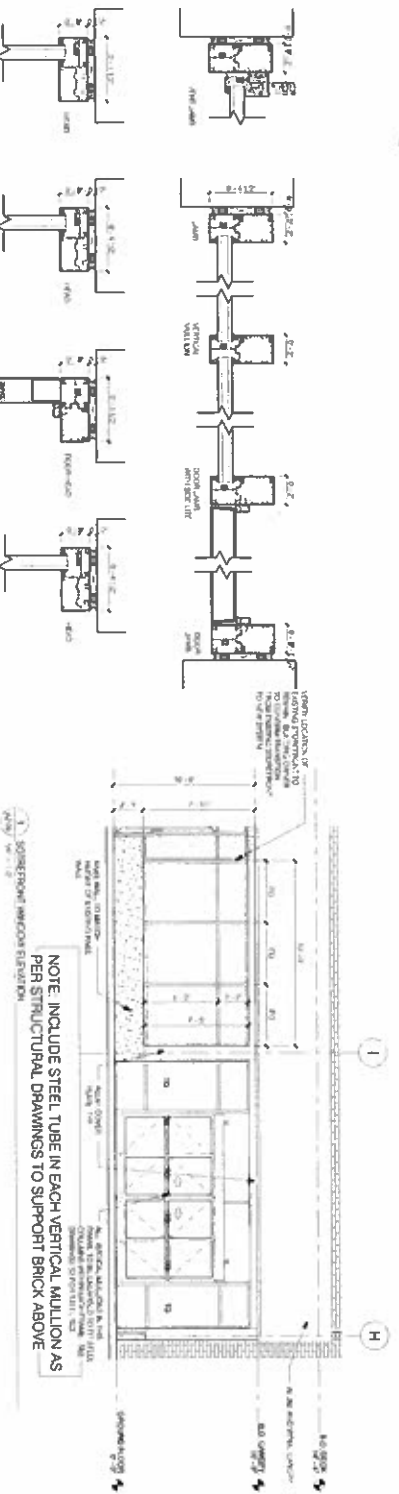


Diagram of a storage point (STOPEPOINT 2) showing dimensions and labels:

- Overall width: 1.00
- Overall height: 1.00
- Internal width segments: 0.25, 0.25, 0.25, 0.25
- Internal height segments: 0.25, 0.25, 0.25, 0.25
- Labels: STORAGE POINT 2, STORAGE POINT 2, STORAGE POINT 2, STORAGE POINT 2

WINDOW NOTES

1. TOLD HERMAN THE NUMBER OF NAU ON WHICH HE WAS GOING TO BASE HIS RESEARCH.
2. HE CALLED NAU AND REQUESTED THE RESEARCH RIGHTS AND REVENUE RIGHTS FROM NAU. HE ASKED FOR 10% OF REVENUE.
3. REVENUE CONTRACTING WITH NAU, BUT HE DID NOT WANT TO SIGN A CONTRACT WITH NAU. HE WANTED TO SIGN A CONTRACT WITH THE STATE OF UTAH.
4. HE CALLED NAU AND ASKED FOR 10% OF REVENUE. NAU SAID NO.
5. HE CALLED NAU AND ASKED FOR 10% OF REVENUE. NAU SAID NO.
6. HE CALLED NAU AND ASKED FOR 10% OF REVENUE. NAU SAID NO.
7. HE CALLED NAU AND ASKED FOR 10% OF REVENUE. NAU SAID NO.
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9. HE CALLED NAU AND ASKED FOR 10% OF REVENUE. NAU SAID NO.
10. HE CALLED NAU AND ASKED FOR 10% OF REVENUE. NAU SAID NO.

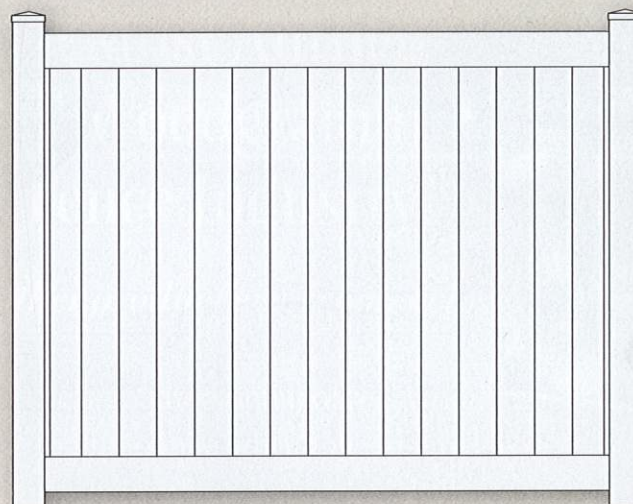
[illegible]

	MAXIMUM BEVERAGE WEST HARTFORD
340 NORTH MAIN STREET W. HARTFORD CT LOWER LEVEL	
PROJECT NUMBER 2021	
ELEVATION AND WINDOWS	
REVISIONS	
1. 2701 - RESPONSES TO BIDDING DEPARTMENT	
2. 1809 - REPROCESSED TO BUILDING DEPARTMENT	
3. 1101 - ALLEGATIONS	
DRAWN BY	
AUTHOR	
SCALE	
As indicated	
ARCH	
PREFRUIT SET	
A2.01	

Solid Privacy Fence



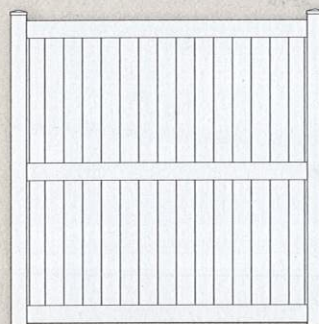
"The most popular fence in the industry." Illusions tongue and groove privacy fence panels have 7/8" x 6" boards, 1-1/2" x 5-1/2" top and bottom horizontal rails, a metal reinforcement channel in the bottom rail, and 7/8" x 1" U-Channel edgings to add a unique and attractive aesthetic.



V300

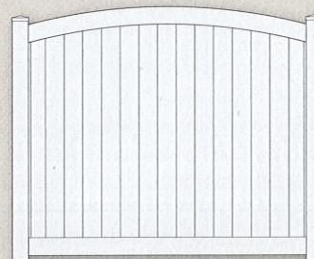
Tongue & Groove Privacy Fence

4' high



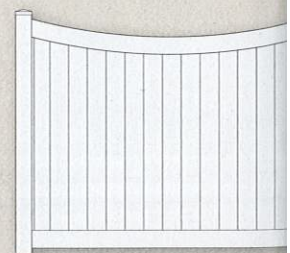
V300-8

8' High T&G Privacy Fence
(7' high and up have mid-rail)



VBF300

Tongue & Groove Privacy Fence
With Crowned "F" Rail



VBG300

Tongue & Groove Privacy Fence
With Scalloped "G" Rail



www.illusionsfence.com

V300 SERIES **QuickShip** STYLES AVAILABLE: Classic White V300-4, Classic White V300-5, Classic White V300-6, Classic White V300-8, Classic Beige V300-6BG, Gray V300-6GY, Classic Beige Boards with Classic White Rails V300-6BW, Classic Gray Boards with Classic White Rails V300-6GW, Black V300-6, Brown V300-6, Hunt V300-6, Slate Gray V300-6, Mahogany V300-6, Walnut V300-6, Rosewood V300-6, Eastern White Cedar V300-6, and Driftwood V300-6. All with matching 4' and 5' wide



Town of West Hartford – Department of Community Development
 Planning & Zoning Division
 50 South Main Street, Room 214, West Hartford, CT 06107
 P: (860) 561-7555 www.westhartfordct.gov

June 11, 2021

To: Town Council

From: Todd Dumais, Town Planner *TD*

**SUBJECT: 340 North Main Street
 SPECIAL DEVELOPMENT DISTRICT
 ADMINISTRATIVE AMENDMENT (SDD #68-R1-21)**

I have received an administrative amendment request from Brian Whitney of Dotcom Wine Spirits Inc./DBA Maximum Beverage for revisions to the approved Special Development District plan (SDD #68) located at 340 North Main Street. The request is for minor architectural modifications and adjustments to the landscaping to accommodate necessary construction related design modifications.

Attached are a narrative and supporting plans which further explain the proposal.

The requested modifications fall within the approval powers contained in **Section 177-44C (9)** of the Code of Ordinances. This section allows the Town Planner to approve adjustments to limited plan elements of an SDD, in this instance under **Section 177-44C(9)(b)** The type, size, number and location of plantings required for landscaping purposes (but not those required for screening from adjacent residential areas) may be adjusted by the substitution of other plantings in the same class (deciduous or nondeciduous); by plantings of similar size and number, and by locating plantings within a radius of 50 feet from a site specified in the SDD ordinance; and **Section 177-44C(9)(d)** Minor architectural changes. It is my opinion that the plan, as modified, is in accordance with the purpose of the original SDD approved by the Town Council.

The purpose of the memo is to notify the Town Council of my intention to approve the requested modifications. This notice of approval is given with the understanding that such action will not be effective until the day following the next regular meeting of the Town Council and that such notice of approval is given 10 days prior to such Council meeting. This matter would therefore appear as a regular agenda item on the Regular Town Council Meeting, **Tuesday, June 22, 2021**.

It is understood that the Town Council may reject my approval decision and direct that the modifications requested be considered under the provisions of **Section 177-44C (9)** which would require a complete application for amendment and requisite public hearing.

C: Matthew Hart, Town Manager
 Subject SDD File

Dallas Dodge, Corporation Counsel

TAVERN IN THE SQUARE

May 21, 2021

Mr. Todd Dumais
Town Planner
Town of West Hartford
50 South Main Street
West Hartford, Ct 06107

Re: Tavern in the Square
1393 New Britain Ave
Administrative Amendment SDD #6-R2-16

Dear Mr. Dumais:

On January 24, 2017, the Town Council approved an Special Development District application on behalf of Seritage Growth Properties for the former Sears Auto Center & Sear Department Store at 1445 New Britain Ave for façade redevelopment. Tavern in the Square, as tenant is proposing a new restaurant in this approved Special Development District #6. The proposed restaurant is located in the former Sears Auto Center (building 2, Tenant 2E) and leased as 1393 New Britain Ave within The Corbin Collection. This request is for minor architectural revisions to the façade and patio in harmony with the permitted development of the adjacent properties.

The requested modification falls within section 177-44(9) of the Code of Ordinances, as minor architectural changes to the approved Plan.

As identified in the patio package we are proposing to add steel columns beams, exposed metal deck and roof connected to the existing façade. We plan to open up the south façade to provide access from the restaurant proper to the covered patio with a glass nanawall storefront system. A steel and metal mesh guardrail will surround the patio separating the patron from the side walk. There is a clear PVC rolldown flap that will be closed in the cooler months. The patio resides on a previously approve area and is appropriate for the site.

Respectfully submitted,



Joey Arcari
Tavern in the Square

cc: Brian Pudlik
Robert Satler Stansell, Emporium Design
Arsean Maqami, Seritage Growth Properties

Item 5E

THE CORBIN COLLECTION

ADMINISTRATIVE AMENDMENT FOR SPECIAL DEVELOPMENT DISTRICT #6
for
COMMERICAL REDEVELOPMENT

1393 NEW BRITAIN AVE.
WEST HARTFORD, CT 06110

PERSPECTIVE VIEW



TAVERN
IN THE SQUARE
WEST
HARTFORD

1393 New Britain Ave.
West Hartford, CT 06110

DESIGN ARCHITECT	Emporium Design, LLC Robert A. Stansell III, AIA 54 West 39th Street Floor 16 New York, New York 10018	CLIENT	Broadway Hospitality Group 732 East Broadway South Boston, MA 02127
		LANDLORD	SERITAGE GROWTH PARTNERS 500 FIFTH AVENUE SUITE 1530 NEW YORK, NY 10110

PROJECT TEAM

OWNER: (LANDLORD)
Seritage SRC Finance LLC
6060 Rockside Woods Blvd.
Suite 117
Independence, OH 44131
(216) 264 5900

ARCHITECT:
Emporium Design, LLC
54 West 39th Street
Floor 16
New York, New York
10018

AREA / LOCATION MAP



SHEET INDEX AND ISSUE MATRIX

Sheet Number	Sheet Name	Sheet Issue Date
COVER T-000	COVER SHEET	05/24/2021
ARCHITECTURAL A-100	SITE PLAN	05/24/2021
A-101	PATIO DESIGN PLANS	05/24/2021
A-201	PATIO DESIGN ELEVATIONS	05/24/2021
A-202	PATIO DESIGN RENDERING	05/24/2021

NO.	BY	DATE	DESCRIPTION
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EMPORIUM
DESIGN

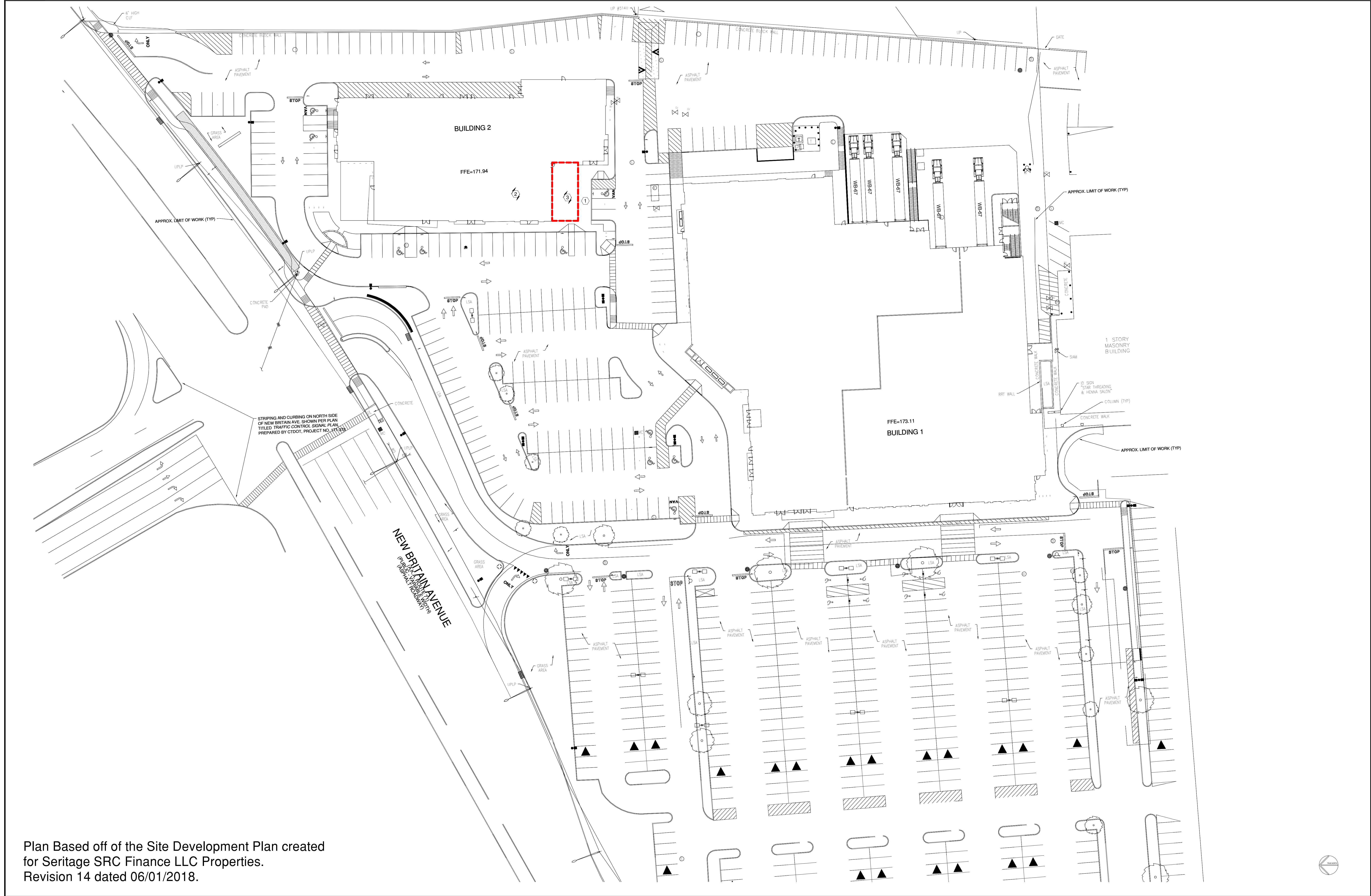
SEAL/ SIGNATURE:

Title Sheet

T-000





PROJECT	2009.00	DATE	
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Emporium Design, LLC
54 West 39th Street, Floor 16
New York, New York 10018



Plan Based off of the Site Development Plan created for Seritage SRC Finance LLC Properties.
Revision 14 dated 06/01/2018.

Architectural Site Plan

KEYNOTES		SYMBOL LEGEND		GENERAL NOTES
<div><div>1</div>EXISTING SIDEWALK TO REMAIN</div> <div><div>2</div>RENOVATED BUILDING WITH NEW ROOF</div> <div><div>3</div>NEW PATIO ROOF AS APPROVED.</div>		<div><div>SYMBOL</div><div>DESCRIPTION</div></div> <div><div></div>NEW DOOR</div> <div><div></div>KEYNOTE</div> <div><div></div>LANDSCAPED AREA</div> <div><div></div>CONSTRUCTION LIMIT LINE</div>	<div>A. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION ON BUILDING ELEMENTS</div> <div>B. REFER TO EXTERIOR ELEVATIONS AND E-SHEETS FOR ADDITIONAL INFORMATION ON EXTERIOR LIGHTING</div>	

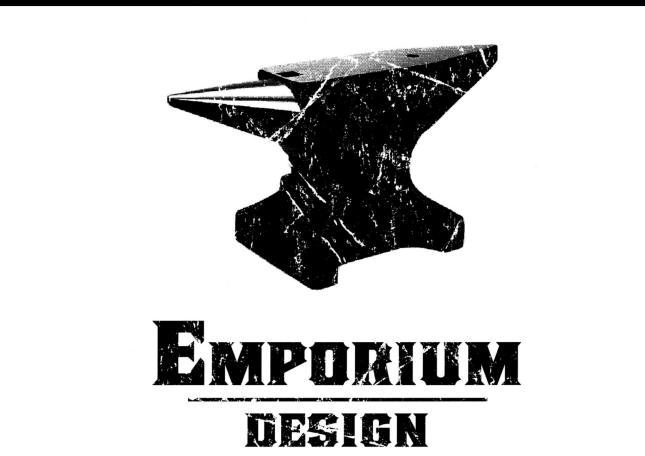
TAVERN
IN THE SQUARE
WEST
HARTFORD

1393 New Britain Ave.
West Hartford, CT 06110

DESIGN ARCHITECT	Emporium Design, LLC Robert A. Stansell III, AIA 54 West 39th Street Floor 16 New York, New York 10018	CLIENT	Broadway Hospitality Group 732 East Broadway South Boston, MA 02127
MEP ENGINEER	BLW Engineers 311 Great Road Littleton, MA 01460	LANDSCAPE	SERITAGE GROWTH PARTNERS 500 FIFTH AVENUE SUITE SUITE 1530 NEW YORK, NY 10110
STRUCTURAL ENGINEER	TF Moran, Inc. 48 Constitution Dr. Bedford, NH 03110	KITCHEN CONSULTANT	HARBOR FOODS 229 Marginal Street Chelsea, MA 02150

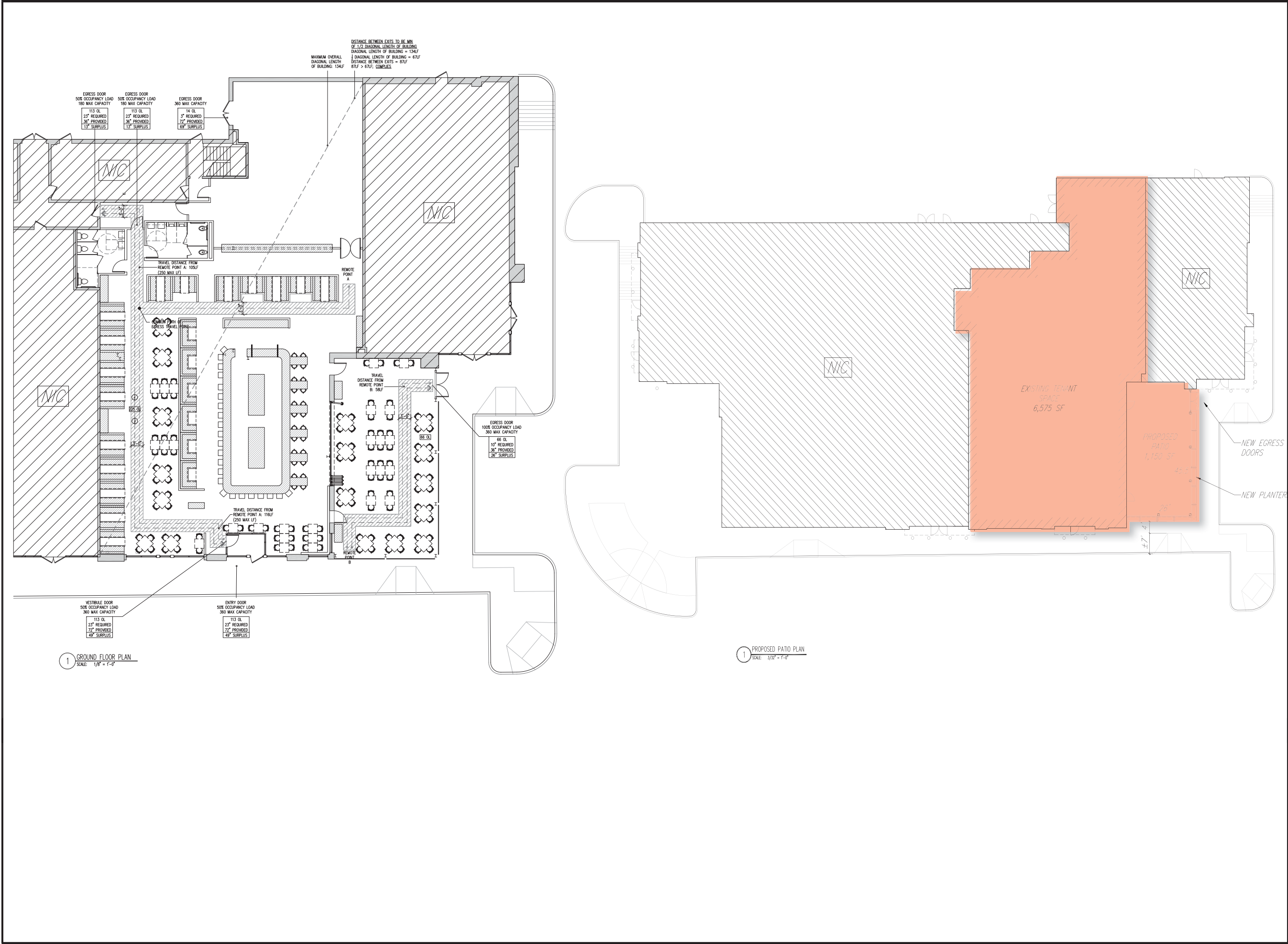
SEAL/ SIGNATURE:

1	ED	05/24/2021	Review Set
NO.	BY	DATE	DESCRIPTION



ARCHITECTURAL SITE
PLAN

A-100	
As indicated	DATE
2009.00	DATE
Emporium Design, LLC 54 West 39th Street, Floor 16 New York, New York 10018	




TAVERN
IN THE SQUARE

WEST
HARTFORD

1393 New Britain Ave.
West Hartford, CT 06110

DESIGN ARCHITECT	Emporium Design, LLC Robert A. Stansell III, AIA 54 West 39th Street Floor 16 New York, New York 10018	CLIENT	Broadway Hospitality Group 732 East Broadway South Boston, MA 02127
			SERITAGE GROWTH PARTNERS 500 FIFTH AVENUE SUITE 1530 NEW YORK, NY 10110
LANDLORD			

1	ED	05/24/2021	Review Set
NO.	BY	DATE	DESCRIPTION



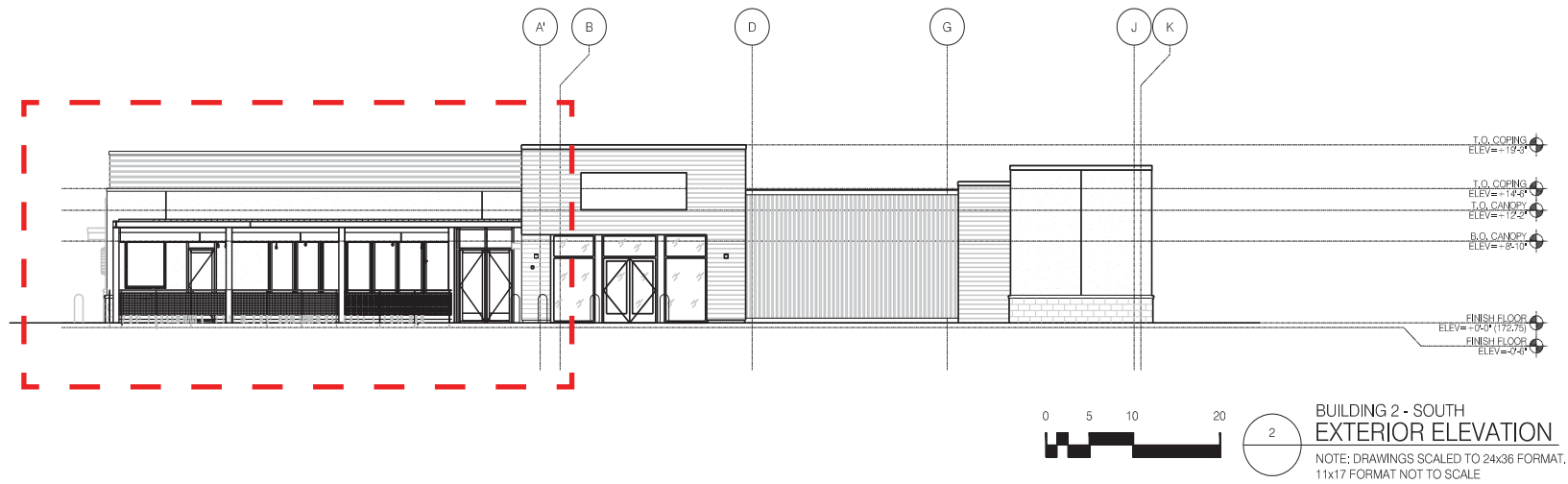
EMPORIUM
DESIGN

SEAL/ SIGNATURE:

Patio Design Plans

DRAWING NO.	A-101		
PROJECT	2009.00	DOB	DOB

Emporium Design, LLC
54 West 39th Street, Floor 16
New York, New York 10018



MATERIAL LEGEND							
SYMBOL	MATERIAL	MANUFACTURER	COLOR	SYMBOL	MATERIAL	MANUFACTURER	COLOR
(SMU-3)	SMOOTHED FACED CMU	TRENWYTH / TRENDSTONE	ALAMO	(MS-3)	CORRUGATED METAL SIDING	PAC-CLAD: 2" REVEAL WALL PANEL	MUSKET GRAY
(CEM-3)	CEMENT BOARD PANEL	US ARCH PRODUCTS	CEM CLAD	(MS-2)	CORRUGATED METAL SIDING	TENANT SPECIFIC (TBO)	DARK BRONZE, MISSION RED, GRAY, WHITE
(TC-1)	TEXCOAT		BM: OLD PRAIRIE OC-42	(CS-1)	COMPOSITE SIDING	GEOLAM VERTIGO	TEAK
(PS-1)	PAINTED STEEL		SW #7069: IRON ORE	(CS-2)	COMPOSITE SIDING	GEOLAM VERTIGO	ROSEWOOD
(WP-3)	PLANTED WALL PANEL	GREENSCREEN	MATTE TEXTURE BLACK	(EFS-2)	EXTERIOR INSULATION FINISHING SYSTEM (EFS)	STO CORP.	BM OC-57 WHITE HERON
(PCM-3)	PCM PANEL	ALPOLIC / RAINSCREEN	CHARCOAL	(EFS-3)	EXTERIOR INSULATION FINISHING SYSTEM (EFS)	STO CORP.	SW 7669 SUMMIT GRAY
	METAL MESH RAILING		BLACK		STRING LIGHTS		
	FOLDING GLASS WALL	NANOWALL	BLACK		STOREFRONT SYSTEM		BLACK ANODIZED



TAVERN IN THE SQUARE

WEST HARTFORD

1393 New Britain Ave.
West Hartford, CT 06110

DESIGN ARCHITECT	Emporium Design, LLC Robert A. Stansell III, AIA 54 West 39th Street Floor 16 New York, New York 10018	CLIENT	Broadway Hospitality Group 732 East Broadway South Boston, MA 02127
		LANDLORD	SEPTAGE GROWTH PARTNERS 500 FIFTH AVENUE SUITE 1530 NEW YORK, NY 10110

1	ED	05/24/2021	Review Set
NO.	BY	DATE	DESCRIPTION



SEAL/SIGNATURE:

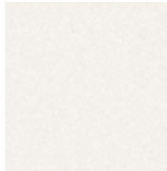
Patio Design Elevations

DRAWING NO.	A-201	
PROJECT	2009.00	

Emporium Design, LLC
54 West 39th Street, Floor 16
New York, New York 10018

PATIO DESIGN - EXTERIOR RENDERING

EIFS: STO - BM OC-57
WHITE HURON



EXISTING STUCCO FINISH

FRONT ENTRY LOGO

EXISTING COMPOSITE SIDING



GEOLAM VERTIGO - TEAK

EXISTING MASONRY



SMOOOTH FACED MASONRY:
TRENDSTONE - ALAMO

PAC-CLAD - 7" REVEAL WALL PANEL -
MUSKET GRAY



EXISTING
CORRUGATED
METAL SIDING



NEW STOREFRONT WINDOWS



CLEAR PVC
MATERIAL

PAINTED STEEL
COLUMNS AND BEAMS



METAL MESH RAILING



WIRE MESH RAILING
IN BLACKENED STEEL

BLACKENED
STEEL FINISH

BLACK ANODIZED
STOREFRONT DOOR



STRING LIGHTS



NANOWALL FOLDING WALL
BLACK FINISH



- BASE PRICING TO BE PAINTED STEEL SYSTEM AS SHOWN. CENTER SPINE TO BE GROUND DOWN TO REMOVE PAINT & THEN PAINT
- FIXED EXIT DOUBLE DOORS TO MATCH STEEL POST COLOR
- GLASS STOREFRONT FROM EXTERIOR TO INTERIOR
- ROLL UP PLASTIC FLAPS

TAVERN
IN THE SQUARE

WEST
HARTFORD

1393 New Britain Ave.
West Hartford, CT 06110

DESIGN ARCHITECT	Emporium Design, LLC Robert A. Stansell III, AIA 54 West 39th Street Floor 16 New York, New York 10018	CLIENT	Broadway Hospitality Group 732 East Broadway South Boston, MA 02127
		LANDLORD	SERITAGE GROWTH PARTNERS 500 FIFTH AVENUE SUITE 1530 NEW YORK, NY 10110

1	ED	05/24/2021	Review Set
NO.	BY	DATE	DESCRIPTION



EMPORIUM
DESIGN

SEAL/ SIGNATURE:

Patio Design Renderings

DRAWING NO.	A-202		
SCALE		DOB	
PROJECT	2009.00	DOB	


Emporium Design, LLC
54 West 39th Street, Floor 16
New York, New York 10018



Town of West Hartford – Department of Community Development
Planning & Zoning Division
50 South Main Street, Room 214, West Hartford, CT 06107
P: (860) 561-7555 www.westhartfordct.gov

June 11, 2021

To: Town Council

From: Todd Dumais, Town Planner 

**SUBJECT: 1445 New Britain Avenue (The Corbin Collection)
SPECIAL DEVELOPMENT DISTRICT
ADMINISTRATIVE AMENDMENT (SDD #6-R1-21)**

I have received an administrative amendment request from John Arcari of Tavern in the Square, on behalf of Seritage Growth properties for revisions to the approved Special Development District plan (SDD #6) located at 1445 New Britain Avenue. The request is for minor architectural modifications to accommodate a new tenant within the shopping plaza.

Attached are a narrative and supporting plans which further explain the proposal.

The requested modifications fall within the approval powers contained in **Section 177-44C (9)** of the Code of Ordinances. This section allows the Town Planner to approve adjustments to limited plan elements of an SDD, in this instance under **Section 177-44C(9)(d)** Minor architectural changes. It is my opinion that the plan, as modified, is in accordance with the purpose of the original SDD approved by the Town Council.

The purpose of the memo is to **notify** the Town Council of my intention to approve the requested modifications. This notice of approval is given with the understanding that such action will not be effective until the day following the next regular meeting of the Town Council and that such notice of approval is given 10 days prior to such Council meeting. This matter would therefore appear as a regular agenda item on the Regular Town Council Meeting, **Tuesday, June 22, 2021**.

It is understood that the Town Council may reject my approval decision and direct that the modifications requested be considered under the provisions of **Section 177-44C (9)** which would require a complete application for amendment and requisite public hearing.

C: Matthew Hart, Town Manager
Subject SDD File

Dallas Dodge, Corporation Counsel

QUIT-CLAIM DEED

The **TOWN OF WEST HARTFORD**, a municipal corporation organized under the laws of the State of Connecticut, acting through its Town Manager, Matthew W. Hart, hereunto duly authorized (hereinafter “Grantor”), for good and valuable consideration, grants to **JESSICA BOYD AND CLAUDIO ORTIZ** with **QUIT-CLAIM COVENANTS**, all of the Grantor’s right, title and interest in and to that certain Storm Sewer Right of Way recorded on September 26, 1961 in Volume 339, Page 296 of the West Hartford Land Records over property known as 48 Sequin Road.

IN WITNESS WHEREOF, said Town of West Hartford has caused this instrument to be executed on this _____ day of _____, 2021.

Signed, Sealed and Delivered
in the presence of:

TOWN OF WEST HARTFORD

By: _____

Name: Matthew W. Hart
Its Town Manager

STATE OF CONNECTICUT)
)
COUNTY OF HARTFORD)

ss: West Hartford, 2021

Personally appeared Matthew W. Hart, Town Manager of the Town of West Hartford, signer and sealer of the foregoing instrument, who acknowledged the same to be his free act and deed and the free act of the Town of West Hartford, before me.

Name: _____
 Notary Public/Commissioner of the Superior Court
 My Commission Expires _____

QUIT-CLAIM DEED

The **TOWN OF WEST HARTFORD**, a municipal corporation organized under the laws of the State of Connecticut, acting through its Town Manager, Matthew W. Hart, hereunto duly authorized (hereinafter "Grantor"), for good and valuable consideration, grants to **RICHARD G. BROAD AND PATTIE. MANTELL-BROAD** with **QUIT-CLAIM COVENANTS**, all of the Grantor's right, title and interest in and to that certain Storm Sewer Right of Way recorded on September 26, 1961 in Volume 339, Page 295 of the West Hartford Land Records over property known as 49 Brainard Road.

IN WITNESS WHEREOF, said Town of West Hartford has caused this instrument to be executed on this _____ day of _____, 2021.

Signed, Sealed and Delivered
in the presence of:

TOWN OF WEST HARTFORD

By: _____

Name: Matthew W. Hart
Its Town Manager

STATE OF CONNECTICUT)
)
COUNTY OF HARTFORD)

ss: West Hartford _____, 2021

Personally appeared Matthew W. Hart, Town Manager of the Town of West Hartford, signer and sealer of the foregoing instrument, who acknowledged the same to be his free act and deed and the free act of the Town of West Hartford, before me.

Name:
Notary Public/Commissioner of the Superior Court
My Commission Expires

**RESOLUTION AUTHORIZING THE TOWN MANAGER TO EXECUTE QUIT CLAIM DEEDS
REGARDING RIGHTS OF WAY ACROSS 49 BRAINARD ROAD AND 48 SEQUIN ROAD**

WHEREAS, on September 26, 1961, the Town obtained rights of way over private properties located at 49 Brainard Road and 48 Sequin Road for the purpose of constructing and maintaining a storm sewer drainage system to benefit both properties; and

WHEREAS, the Town replaced that portion of the drainage system benefitting 48 Sequin Road by installing a new yard drain and connecting it to the Town's existing storm water infrastructure system, and the owner of the property has agreed to maintain in perpetuity the new drainage system; and

WHEREAS, the drainage system benefitting the property located at 49 Brainard Road was replaced by the property owner who has agreed to maintain in perpetuity the new drainage system; and

WHEREAS, the Town no longer has a need for the rights of way over the Brainard Road and Sequin Road properties, and therefore those property interests should be transferred back to the respective property owners.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF WEST HARTFORD THAT the Town Manager is authorized to execute two quit claim deeds in substantially the forms attached hereto.

(HART)

May 11, 2021



**WEST
HARTFORD**

Town Plan and Zoning Commission

Town of West Hartford

50 South Main Street, Room 214, West Hartford, CT 06107

P: (860) 561-7555 www.westhartfordct.gov

June 14, 2021

Honorable Town Council
Town of West Hartford
50 South Main Street
West Hartford, CT 06468

SUBJECT: Resolution Authorizing the Town Manager to Execute Quit Claim Deeds Regarding Rights of Way Across 49 Bainard Road and 48 Sequin Road

Dear Councilors:

At its Regular Meeting of June 7, 2021, the West Hartford Town Plan and Zoning Commission (TPZ) gave consideration to the following item:

Resolution Authorizing the Town Manager to Execute Quit Claim Deeds Regarding Rights of Way Across 49 Bainard Road and 48 Sequin Road

After a detailed review, the TPZ acted by **unanimous vote (5 - 0)** (Motion/Binkhorst) to **RECOMMEND APPROVAL** of the resolution authorizing the Town Manager to Execute Quit Claim Deeds Regarding Rights of Way Across 49 Bainard Road and 48 Sequin Road, finding the request consistent with the Plan of Conservation and Development.

The Town Plan and Zoning Commission appreciates the opportunity to be an integral part of the review process and thanks the Town Council for its consideration of these comments.

Sincerely,

Kevin Ahern
Chairman TPZ/IWWA

C: Matthew Hart, Town Manager
 Essie Labrot, Town Clerk

Dallas Dodge, Corporation Counsel
Todd Dumais, Town Planner

409 PROSPECT, LLC
11 Bassette Lane
West Hartford, CT 06117

June 11, 2021

Honorable Members of the West Hartford Town Council
Town of West Hartford
Town Hall
50 South Main Street
West Hartford, Connecticut 06107

RE: Proposed Special Development District Overlay in Existing RM-1 Zone for New Construction 9-Unit Townhome Project located at 405-409 Prospect Avenue, West Hartford, Connecticut

Dear Mayor Cantor and Honorable Members of the Town Council:

Application is hereby filed on behalf of 409 Prospect, LLC (the “Applicant”) , with respect to the development of a 9-unit townhouse project at 405-409 Prospect Avenue (the “Property”) previously approved pursuant to a site plan approval process that did not require either a special permit or a public hearing in front of any Town of West Hartford commissions. The Property is approximately 15,462 square feet (.355 acres) and abuts single-family homes and multi-family homes to the south and apartment buildings to the north and west. The site plan approval granted land use approvals for the construction of two buildings on the Property, one consisting of six attached townhouses and the other consisting of three attached townhouses. The Property can potentially accommodate 15 dwelling units under the RM-1 zone; however, the Applicant chose not to maximize the potential density of the Property for two reasons. First, it was Applicant’s preference to construct individual attached townhomes with usable outdoor patio space dedicated to each unit and access by residents from the exterior of such units rather than a single building with common open space and access to units only from common hallways. Second, the Applicant believed that the small size of the Property presented parking constraints that made the construction of townhouse units with attached garages (where feasible), a better use of the Property.

In 2011 the Applicant acquired the Property, which originally consisted of a single-family house in need of extensive repairs located at 409 Prospect Avenue and a vacant parcel of land at 405 Prospect Avenue. Both parcels comprising the Property are zoned RM-1, which allows for high density multi-family housing. Pursuant to the zoning regulations in effect in 2011, the Applicant

submitted an application for and obtained site plan approval (the “Original Site Plan Approval”) for the demolition of the existing single family house and the construction of an 8-unit townhouse project with two buildings, one consisting of six attached townhouses (4 with single car garages and one with a two-car garage) and the other a duplex with two townhouse units (each with a two-car garage). The proposed project satisfied all parking requirements set forth in the Town of West Hartford zoning regulations and the proposed site plans were designed to address extensive comments from the Town Engineering Department. In addition, MDC approved the site and utility plans and granted approvals for the buildings constructed on the Property to be connected to its water and sewer systems. (Per the Special Development District application requirements, the Applicant

Shortly after its receipt of the Original Site Plan Approval, the Applicant chose to hold off on construction of the proposed townhouse project because of weak market conditions. The Applicant then made various repairs and renovations to the existing single-family house on the Property, and rented the house from 2011 through 2018. As a result of improving market conditions and other redevelopment occurring in areas near the Property, in 2019 the Applicant decided to proceed with its original plan to construct townhomes on the Property. In advance of doing so, the Applicant retained Kemper Associates Architects for purposes of making some minor modifications to the proposed building elevations and changing the proposed duplex to a triplex within the same building footprint. Those requested modifications and changes were then submitted to the Town Planning & Zoning Office and subsequently approved (the “Modified Site Plan Approval”). Other than the minor modifications to the building elevations and change from the proposed duplex to triplex that increased the number of units in the project from eight to nine, the site plan and required infrastructure set forth in the Modified Site Plan Approval were essentially identical to those set forth in the Original Site Plan Approval plans.

In late Spring 2020 the Applicant proceeded with demolition of the existing single-family house and installation of a significant portion of the project infrastructure per the Modified Site Plan Approval. During the installation of the site infrastructure, the Applicant considered changes to the roof design of the proposed townhouse buildings, which the Applicant believed would dramatically improve the appearance of the buildings as well as improve the functionality of the bedrooms located on the third floor of each of the townhouse units. The Applicant met with the Town Planning & Zoning office to propose the suggested modifications to the building roofs. Upon review, the Planning & Zoning office determined that the proposed changes to the building roof design went beyond changes that were permitted to be made on an administrative basis, and suggested the Special Development District (“SDD”) process as the appropriate path to obtain approvals for the modification of the building roof design and elevations depicted in the Modified Site Plan Approval plans. (As this application does not seek any modification of the building footprint, the Applicant will proceed with the installation of the building foundations and certain additional infrastructure during the pendency of this application.)

The roof type of the buildings shown in the Modified Site Plan Approval plans is known as a gambrel roof design. The Applicant’s use of a gambrel roof design was necessary in order to obtain site plan approvals to build townhomes on the proposed building footprints. The

Standards for Multifamily Residence Districts included as Attachment 4 to the West Hartford Zoning Regulations provides that each side and each rear yard of a building within the RM-1 zone shall have a “width of at least 1/2 of the height of the building, including Type A screening.” The definition for Height of Building set forth in Section 177-2(B) of the Zoning Regulations defines the height of a building as “[t]he vertical distance to the level of the highest point of a flat roof or, if the roof is of any other shape, to the mean level between the eaves and the highest point of the roof, measured from the average level of the finished grade along the exterior walls of the building.” Had the applicant designed a roof with an architectural style more consistent with other buildings in the area surrounding the Property and West Hartford in general, the height of the building as determined under the Town’s zoning regulations would have required side yards of a width that would have made a townhome project on the Property unviable. Accordingly, the Applicant proposed a gambrel roof style which has lower eaves as opposed to other style roofs incorporating features such as hips and gables that have higher eaves. Because the eaves of the roof shown in the Modified Site Plan Approval plans sit low on each of the two buildings, the mean level between the eaves and the highest point of the buildings’ roof as measured from the average level of the finished grade along the exterior walls of the building, results in a height of building whereby the side and rear yard requirements equal to one-half of that height allow the proposed footprints for both buildings to meet the requirements of the Town’s zoning regulations.

Although the Applicant has already commenced with construction of the approved townhouse project and intends to bring it to completion, it was not until after the demolition of the existing house and the completion of a substantial portion of the project infrastructure that the Applicant was able to have a better vision of the completed project, which vision led it to the realization that the SDD process should be used to achieve a modified roof design that while not affecting the absolute height of each building to their respective peaks, would result in building aesthetics more appealing to residents of the neighborhood surrounding the Property, future residents of the townhouse units and residents of West Hartford in general. Therefore, the Applicant has proposed a roof design pursuant to this SDD application that achieves this objective but does not significantly alter other design elements of the buildings, nor change either of the building footprints or site infrastructure. The roof design change proposed by the Applicant achieves its design objective yet results in little, if any, change in no change in the total height of the ridge line of the buildings.

The sole relief from the Town zoning regulations sought by the Applicant in connection with this application is with respect to the requirement set forth in the Standards for Multifamily Residence Districts (Attachment 4 to the Zoning Regulations) that the side yard for main buildings located in an RM-1 zone have a width of at least half the height of the building. The proposed change in roof design will result in a technical height of the six-unit building of ____ and a technical height of the of the three-unit building of ____, as determined under the zoning regulations’ definition of building height, which height differs from the technical heights of the six-unit building of ____ and three-unit building (19’9 3/16” and 19’6,” respectively) as currently set forth in the Modified Site Plan Approval. As indicated above, because the proposed changes to

the roofs of the buildings will result in an increased technical height of those buildings as determined under the Town zoning regulations, the Applicant is in need of the requested relief because the width of the side yards set forth in the Modified Site Plan Approval plans (currently 10 feet) will be less than _____ feet, which is half of the proposed revised building height and therefore the required side yard width as set forth in the Standards for Multifamily Residence Districts attached to the Town zoning regulations.

Although the change in roof design will result in a greater technical building height as per the definition contained in the Town zoning regulations, the actual height of the building will not change as the height of the ridge of the building will remain unchanged. Aside from the proposed modification of the building roof design, Applicant is not requesting any additional relief from the Town of West Hartford zoning requirements, including without limitation any increased density in terms of number of dwelling units on the Property. Except for the proposed modified roof design and resulting change in the elevations of both townhouse buildings, this application does not propose any changes to any other aspects of the buildings, site plan conditions or engineering considerations that are set forth in the Modified Site Plan Approval.

The Applicant and Kemper Associates Architects previously met with Todd Dumais, the Town Planner, to present and discuss the proposed change to the buildings' roof design. In addition, the Applicant met informally with the Design Review Advisory Committee ("DRAC") as to the proposed roof design. The Applicant has carefully considered all information obtained as a result of the above mentioned meetings with the Town Planner and DRAC and has created a proposal responsive to comments from those constituent parties. The Applicant also intends to notify any owners whose homes or buildings are adjacent to the Property about the proposed roof design changes and is willing to meet with any such owners who would like to discuss or receive additional information regarding the proposed changes. As part of the Special Development District ("SDD") process, the Applicant will also meet with DRAC again in a more formal manner. The Applicant believes the proposal before you will be an improvement for the project being built upon the Property and an asset to the community.

This letter and accompanying plans and documents constitute a request for an SDD overlay over the Property within the existing RM-1 zone. A legal descriptions of the boundary of the special development district area is set forth in the proposed ordinance attached as Enclosure (b) and is incorporated as part of this application, along with the information contained in Enclosures (a) through (k) noted below ("Application"). In conformance with Zoning Code § 177-44C (2) (f), please accept this Application and schedule it for a public hearing. Please also refer the Application to the Town Plan & Zoning Commission for a written recommendation on the requested SDD designation.

The designation of the Property as a special development district to accommodate the proposed modified roof design of the buildings to be constructed upon the Property is deemed appropriate as the proposed SDD will be superior to a zoning approval possible under the regular standards of the Town's zoning regulations, and the requested changes in the regular standards applicable to permitted uses of land in the RM-1 district will benefit the design and use of the Property. Furthermore, the proposed SDD will be in harmony with the actual or permitted development of adjacent properties and there will be no deleterious change in the character of the neighborhood surrounding the Property.

Respectfully submitted,

409 Prospect, LLC

By: ZP Group, LLC, its sole member

By: _____

Name: Gregory G. Patchen

Title: Member

List of Enclosures:

- (a) Application letter from owner of Premises, ZP Group, LLC;
- (b) Proposed Ordinance;
- (c) Affidavit of Interest;
- (d) Trash Management Plan;
- (e) Letter to Director of the West Hartford Bloomfield Health District dated June 11, 2021;
- (f) Plans entitled: "Application for Special Development District Designation, Rockwell Landing, #409 Prospect Avenue ("Parcel A) & #405 Prospect Avenue ("Parcel B),

West Hartford, CT, Owner 409 Prospect, LLC, 11 Bassette Lane, West Hartford, CT 06117, and Co-Applicant ZP Group, LLC, consisting of ____ sheets including the cover sheet dated June 11, 2021; and
(g) Application fee by check made payable to the Town of West Hartford.

(a)
Owners' Application Letter Per Code §177-44C(1)(a)

June 11, 2021

Honorable Members, West Hartford Town Council
Town of West Hartford
50 South Main Street
West Hartford, CT 06107

RE: Application for Special Development District Overlay within existing RM-1 Zone to for 405 and 409 Prospect Avenue, West Hartford, Connecticut.

Dear Mayor Cantor and Members of the Town Council:

409 Prospect, LLC, is the owner in fee of the property located at 405 and 409 Prospect Avenue, West Hartford, Connecticut (the "Property"). The property is the subject of the above-referenced application to designate the Property as a special development district, for a proposed nine unit townhouse complex consisting of two buildings, one a six unit building containing six attached townhouse units, and the other a triplex containing three attached townhouse units. Eight of the nine units will have an attached garage. There is additional parking on the Property. The complex is to be constructed, together with all required site infrastructure and landscaping, all as set forth in the documents and plans filed with this application.

This letter is provided to indicate the owner's consent to, and participation in, the filing and processing of said application.

Respectfully submitted,

409 PROSPECT, LLC

By: ZP Group, LLC, its member

Name: Gregory G. Patchen
Title: Member

(b)

Proposed Ordinance

**An Ordinance Amending the
Zoning Regulations of the Town of West Hartford**

BE IT ORDAINED BY THE TOWN COUNCIL OF WEST HARTFORD:

That the boundaries and districts shown on the Building Zone Map entitled “REVISED ZONING MAP, TOWN OF WEST HARTFORD, CONNECTICUT”, which map is on file in the Town Clerk’s Office of the Town of West Hartford, Connecticut, be and is hereby amended as follows:

The zoning district designation for 405-409 Prospect Avenue which property is more particularly described below, is hereby changed by placing a special development district overlay over such property pursuant to the provisions of Section 177-44 of the Code of West Hartford, Connecticut, all in accordance with a set of plans entitled “APPLICATION FOR SPECIAL DEVELOPMENT DISTRICT DESIGNATION, ROCKWELL LANDING, #409 PROSPECT AVENUE (“PARCEL A”) & 405 PROSPECT AVENUE (“PARCEL B”), WEST HARTFORD, CT, OWNERS 409 PROSPECT, LLC, 11 BASSETTE LANE, WEST HARTFORD, CT 06117, CO-APPLICANTS ZP GROUP, LLC, ROCKWELL LANDING, LLC, per the cover sheet, which set of plans is comprised of ____ () sheets including the cover sheet, to allow construction of two buildings for residential use, one consisting of six attached townhouse units, and the other consisting of three attached townhouse units, with attendant parking, landscaping, and lighting all as set forth in the plans filed with this Application as those plans may be changed, approved by the West Hartford Town Council and filed on the West Hartford Land Records. The subject property is 312 North Main Street, more particularly bounded and described below, with reference being made to a map or plan entitled “ZONE CHANGE PLAN 312 NORTH MAIN STREET WEST HARTFORD, CT 06117 TORRES ENGINEERING, INC. 63 REED DRIVE WETHERSFIELD, CT 06109 (860)232-9833 SHEET NO. ZC-1 Date: May 13, 2016 Scale: 1”=10’ Drawn: D.T. Checked: O.T.”, which map or plan is on file or to be filed in the Town Clerk’s Office in the Town of West Hartford to which reference may be had.

Said piece or parcel of land situated on the east side of North Main Street in the Town of West Hartford, County of Hartford and State of Connecticut, and more particularly bounded and described as follows:

(c)

Affidavit of Interest

The undersigned being duly sworn hereby deposes and says that to the best of its ability:

The names and addresses of any persons, firms, or corporations having a direct or indirect interest in a personal or financial sense in the request by 409 Prospect, LLC to change the zoning district designation for property at 405-409 Prospect Avenue, West Hartford, Connecticut (the "Property"), from RM-1 to a special development district to allow for construction of a nine unit townhome complex for residential housing, all as set forth in the documents and plans filed with this application, are as follows:

409 Prospect, LLC, applicant, developer and owner of 405-409 Prospect Avenue, West Hartford, Connecticut, has a business address of 11 Bassette Lane, West Hartford, CT 06117, and a mailing address of P.O. Box 270754, West Hartford, CT 06127. The sole member of 409 Prospect, LLC is ZP Group, LLC. Mark J. Zweifler and Gregory G. Patchen are the sole members of ZP Group, LLC. The Secretary of State records indicate that both Mark J. Zweifler and Gregory G. Patchen are members of ZP Group, LLC, with residential addresses of 11 Bassette Lane, West Hartford, CT 06117 and Gregory G. Patchen of 1 Juniper Lane, West Hartford, CT 06117, respectively. Steven M. Temkin holds a financial interest in the subject development project.

409 Prospect, LLC

By: ZP Group, LLC

By: _____

Name:

Title:

Subscribed and sworn before me this ____ day
of June 2021.

Commissioner of the Superior Court

Notary Public

My Commission Expires:

(d)

Trash Management Plan

Location:

The proposed buildings at 405-409 Prospect Avenue will have two 4'x6' rollout containers located near the northwest corner of the site. Both rollout containers will be enclosed within a 6' high screening fence with a gate. One of the containers will be used for the collection of trash and the other for the collection of recycling.

Capacity and Frequency:

The trash container and the recycling container will be picked up once a week. Plastic lid containers will be used to limit noise during collection.

Recycling:

The site will utilize single stream recycling; all recyclable products will be deposited in one container.

(e)

409 PROSPECT, LLC
11 BASSETTE LANE
WEST HARTFORD, CT 06117

June 11, 2021

Aimee Krauss
Director of Health
West Hartford/Bloomfield Health District
580 Cottage Grove Road
Suite 100
Bloomfield, CT 06002

**RE: 405 and 409 Prospect Avenue, West Hartford, CT –
Adequacy of Proposed Sewage Disposal System**

Dear Ms. Krauss:

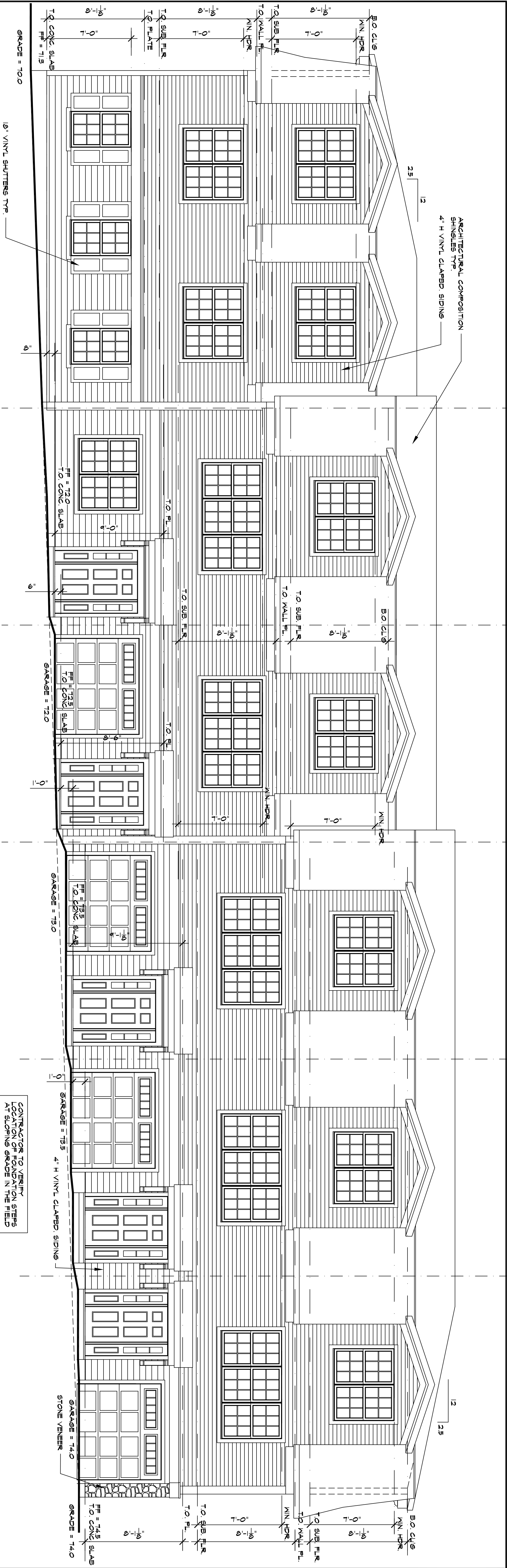
We are the owner of two parcels of land located at 405 and 409 Prospect Avenue in West Hartford, Connecticut. Both parcels are currently zoned multifamily RM-1 and a site plan was previously approved pursuant to an administrative site plan approval process for a new construction 9-unit attached townhouse project, consisting of one six-unit building and one three-unit building. Each townhouse unit will have two bedrooms and two and one-half baths as well as the possibility of an additional bedroom and bath in the lower level of each townhouse unit.

So that we can make adjustments to the roof line of the buildings that would cause the project to not be in technical compliance with the Town of West Hartford Zoning Regulations, we are now proposing, through an application to the West Hartford Town Council under the Special Development District (SDD) provisions of the Town Zoning Regulations, to place an SDD overlay over the existing RM-1 zone so that we may make the proposed changes to the rooflines of the buildings. The Town's SDD process makes the issuance of land use approvals conditional upon our submission of a statement from the Director of Health as to the adequacy of any proposed sewage disposal system. Public water and sewer service to the building is to be provided and has already been approved by The MDC.

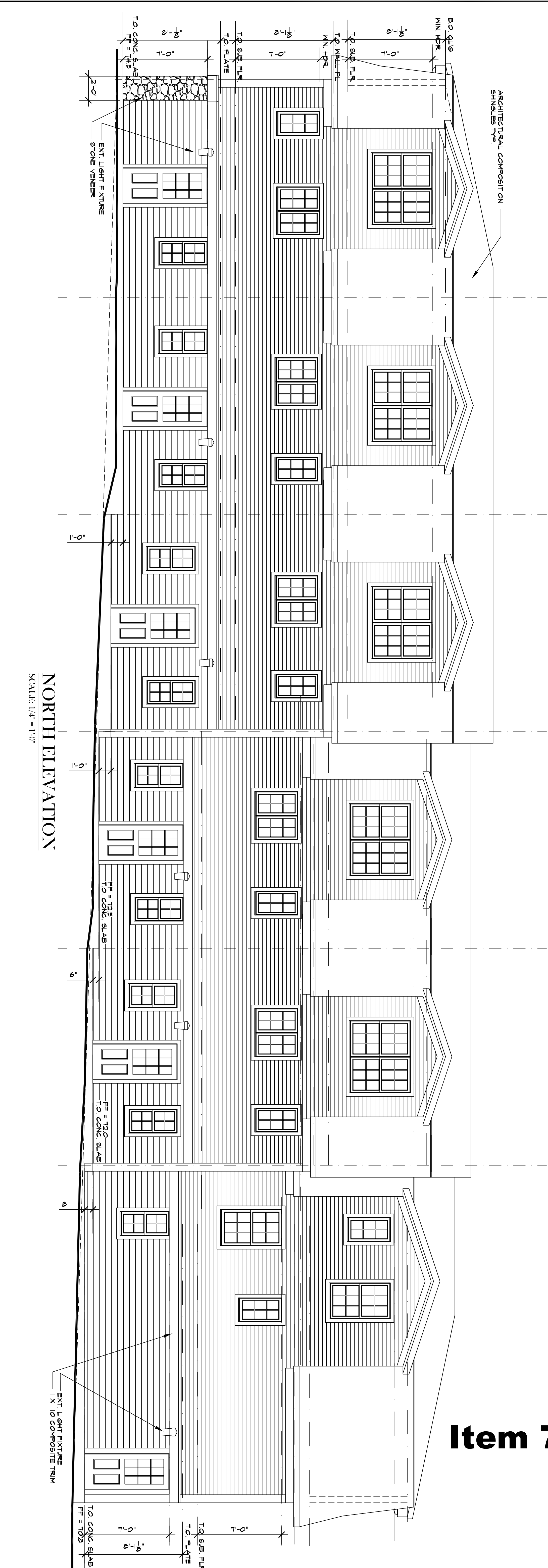
We would greatly appreciate it if you would provide us at your earliest convenience with a letter stating that the proposed sewage disposal system is adequate. Please email the letter to my attention at greg@jamatthewgroup.com or fax it to (866) 460-0036. Should you need any further information or have any questions please call me at (860) 982-0330. Thank you for your cooperation with this matter.

Sincerely,

Gregory G. Patchen
409 Prospect, LLC



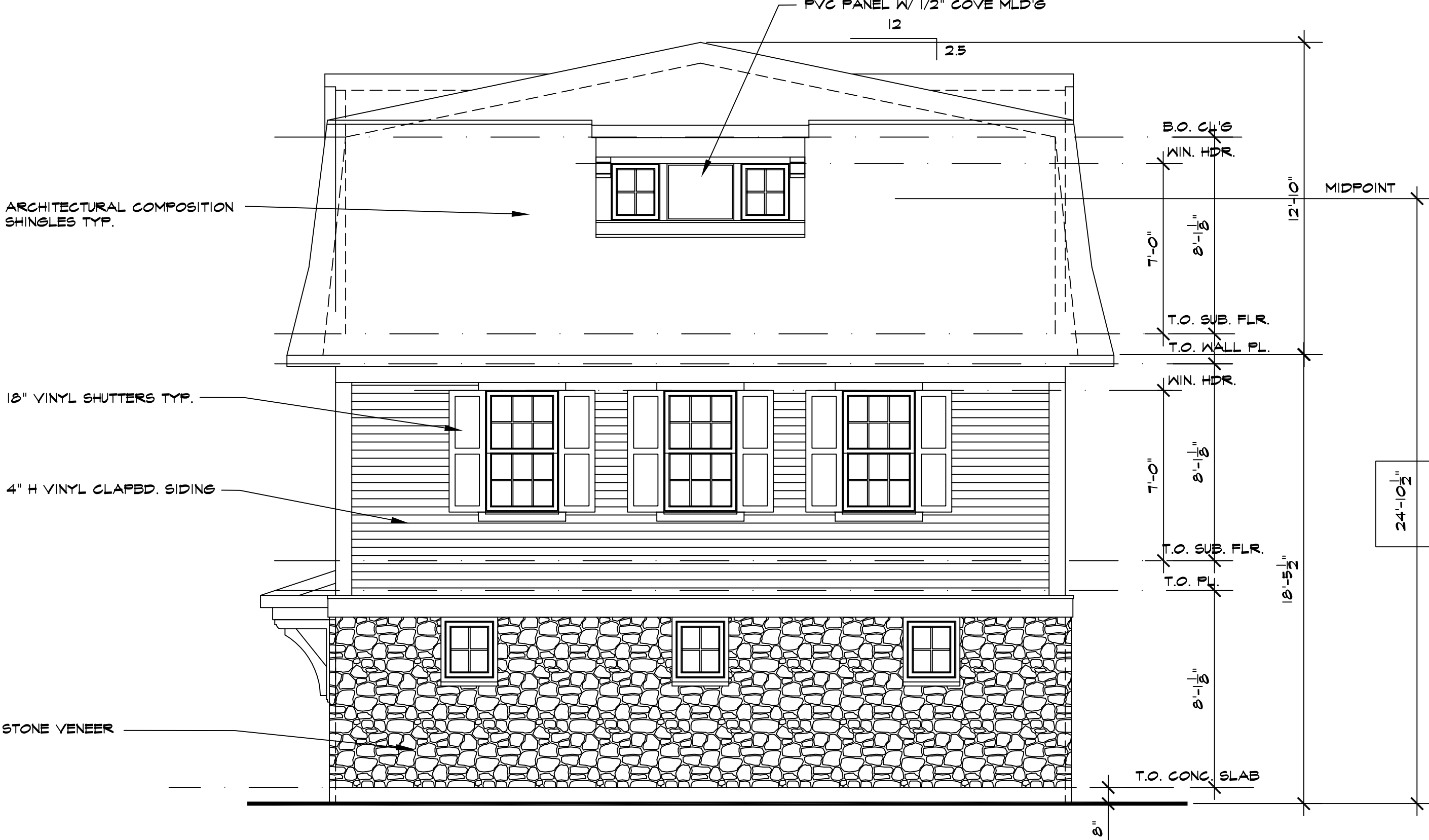
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



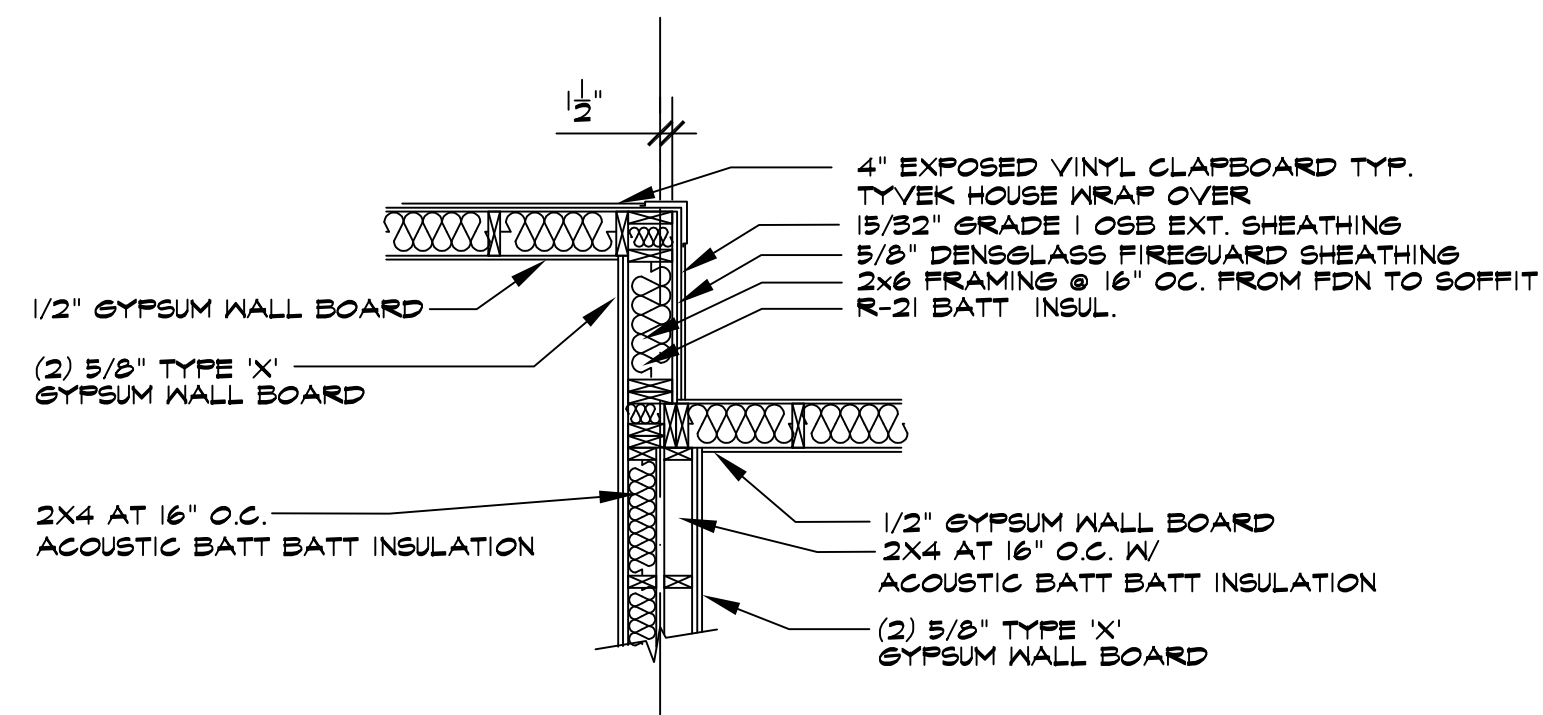
Item 7A



WEST ELEVATION
SCALE: 1/4" = 1'-0"

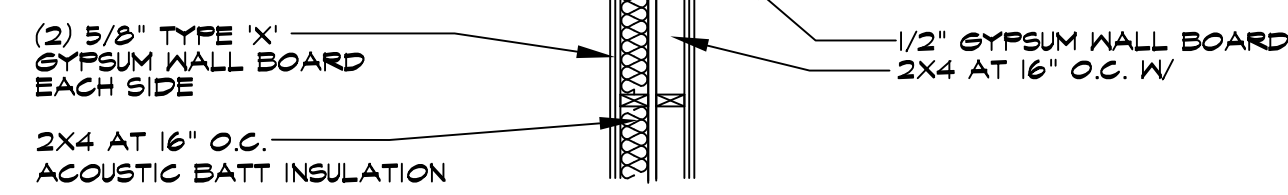


EAST ELEVATION
SCALE: 1/4" = 1'-0"



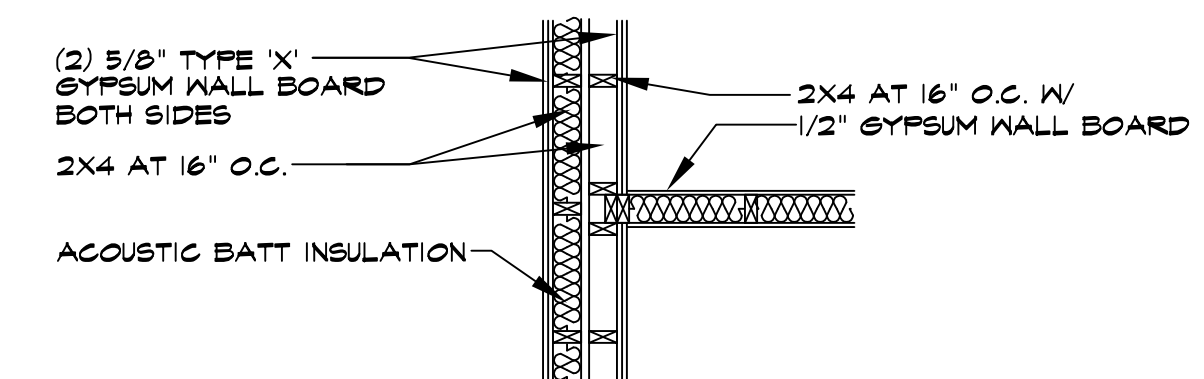
① TYP DWELLING UNIT
SEPARATION WALL - GA-WP-3820

SCALE: 1/2" = 1'-0"
STC RATING - 56 w/ 3 1/2" INSULATION IN ONE CAVITY



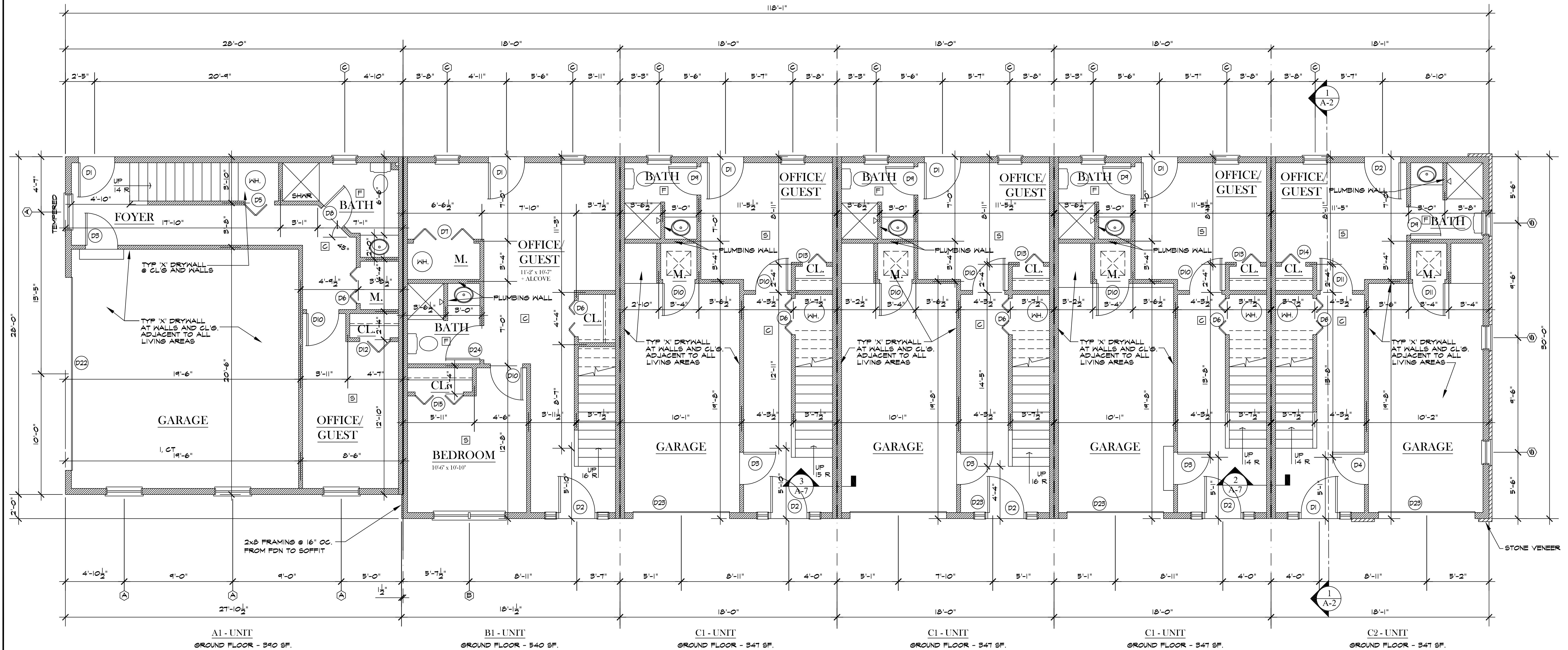
② TYP DWELLING UNIT
SEPARATION WALL - GA-WP-3820

SCALE: 1/2" = 1'-0"
STC RATING - 56 w/ 3 1/2" INSULATION IN ONE CAVITY



③ INTERIOR PARTITION
INTERSECTION W/
SEPARATION WALL - GA-WP-3820

SCALE: 1/2" = 1'-0"
STC RATING - 56 w/ 3 1/2" INSULATION IN ONE CAVITY



BUILDING #1
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

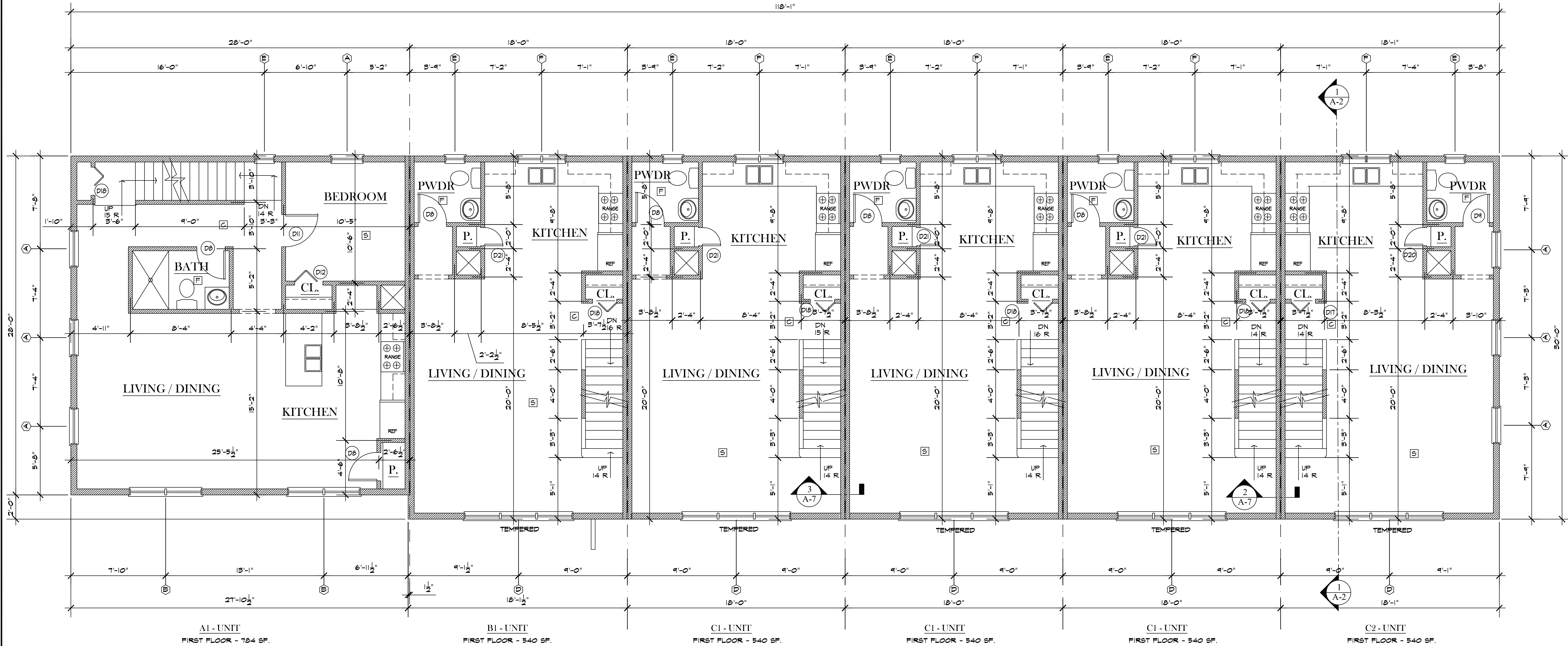
☐ SMOKE ALARM
☐ SMOKE ALARM / CARBON MONOXIDE DETECTOR
☐ FAN
SEE STRUCTURAL DRAWINGS FOR ADDITIONAL
NOTES AND MATERIALS REQUIRED

NOTES:

REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL
NOTES AND MATERIALS REQUIRED

ALL WINDOWS WITH SILL BELOW 2'-0" AFF. WILL BE EQUIPPED
W/ CHILD FALL PROTECTION DEVICES PER CODE SECTION R612

DEMISING WALL CAVITY MAY NOT BE USED FOR
MECHANICAL EQUIPMENT, PIPING OR DUCTWORK
ELECTRICAL INSTALLATIONS INSTALLED IN
ACCORDANCE TO CODE SECTION R302.4



BUILDING #1
SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

- ☐ SMOKE ALARM
 - ☐ SMOKE ALARM / CARBON MONOXIDE DETECTOR
 - ☐ FAN
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES AND MATERIALS REQUIRED

NOTES:
REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES AND MATERIALS REQUIRED
ALL WINDOWS WITH SILL BELOW 2'-0" AFF. WILL BE EQUIPPED W/ CHILD FALL PROTECTION DEVICES PER CODE SECTION R612
DEMISING WALL CAVITY MAY NOT BE USED FOR MECHANICAL EQUIPMENT, PIPING OR DUCTWORK
ELECTRICAL INSTALLATIONS INSTALLED IN ACCORDANCE TO CODE SECTION R302.4

Date
6 / 11 / 21

Revision

Kemper Associates Architects, LLC

764 Farmington Avenue • Farmington, Connecticut 06032

(860) 409 - 7155

Fax (860) 409 - 7160

RESIDENTIAL TOWNHOMES FOR:

JJ MATTHEW GROUP

409 PROSPECT AVENUE

WEST HARTFORD, CONNECTICUT

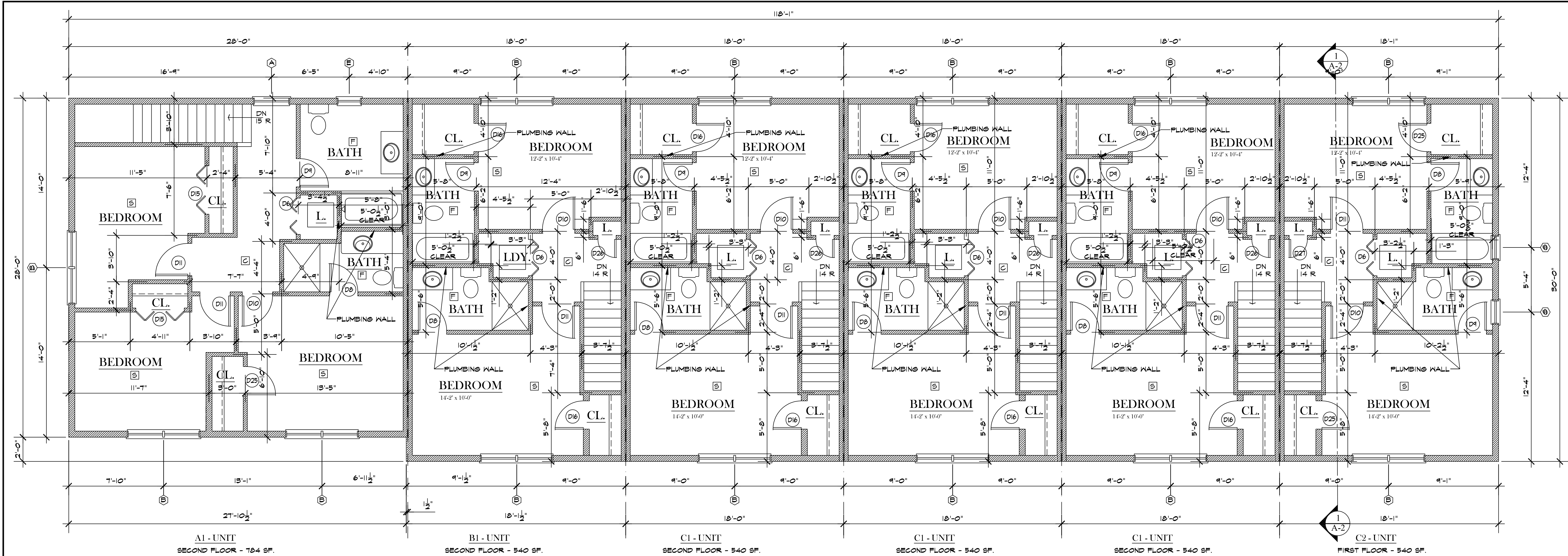
SECOND FLOOR PLAN

BUILDING #1

Checked By

Sheet No.

A-4



DOOR SCHEDULE					
NUMBER	SIZE	R.O. SIZE	ROOM	FINISH	COMMENT
D1	3'-0" x 6'-8"	3'-2 1/2" x 6'-11"	FOYER	PER MANUF.	RIGHT HAND INSWING 2x6 WALL
D2	3'-0" x 6'-8"	3'-2 1/2" x 6'-11"	FOYER	PER MANUF.	LEFT HAND INSWING 2x6 WALL HCAP SILL @ ACCESSIBLE UNIT
D3	2'-8" x 6'-8"	3'-2 1/2" x 6'-11"	GARAGE	PAINT	LEFT HAND INSWING 2x4 WALL 20 MIN. RATED SELF CLOSING
D4	2'-8" x 6'-8"	3'-2 1/2" x 6'-11"	GARAGE	PAINT	RIGHT HAND INSWING 2x4 WALL 20 MIN. RATED SELF CLOSING
D5	2'-8" x 6'-8"	3'-2 1/2" x 6'-11"	MECHANICAL	PAINT	BIFOLD 20 MIN. RATED 2x4 WALL
D6	3'-0" x 6'-8" DBL DOOR	3'-2 1/2" x 6'-11"	MECHANICAL	PAINT	DBL BIFOLD 2x4 WALL
D7	3'-0" x 6'-8" DBL DOOR	3'-2 1/2" x 6'-11"	CLOSET	PAINT	DBL BIFOLD 2x4 WALL
D8	2'-4" x 6'-8"	2'-6 1/2" x 6'-11"	VARIABLES	PAINT	LEFT HAND INSWING 2x4 WALL
D9	2'-4" x 6'-8"	2'-6 1/2" x 6'-11"	VARIABLES	PAINT	RIGHT HAND INSWING 2x4 WALL
D10	2'-8" x 6'-8"	2'-10 1/2" x 6'-11"	VARIABLES	PAINT	RIGHT HAND INSWING 2x4 WALL
D11	2'-8" x 6'-8"	2'-10 1/2" x 6'-11"	VARIABLES	PAINT	LEFT HAND INSWING 2x4 WALL
D12	2'-4" x 6'-8"	2'-6 1/2" x 6'-11"	CLOSET	PAINT	BIFOLD LEFT HAND 2x4 WALL
D13	2'-0" x 6'-8"	2'-2 1/2" x 6'-11"	CLOSET	PAINT	BIFOLD RIGHT HAND 2x4 WALL
D14	2'-0" x 6'-8"	2'-2 1/2" x 6'-11"	CLOSET	PAINT	BIFOLD LEFT HAND 2x4 WALL
D15	4'-0" x 6'-8" DBL DOOR	4'-2 1/2" x 6'-11"	CLOSET	PAINT	DBL DOOR 2x4 WALL
D16	2'-4" x 6'-8"	2'-6 1/2" x 6'-11"	CLOSET	PAINT	LEFT HAND OUTSWING 2x4 WALL
D17	2'-0" x 6'-8"	2'-2 1/2" x 6'-11"	CLOSET	PAINT	RIGHT HAND BIFOLD 2x4 WALL
D18	2'-0" x 6'-8"	2'-2 1/2" x 6'-11"	CLOSET	PAINT	LEFT HAND BIFOLD 2x4 WALL
D19	3'-0" x 6'-8" DBL DOOR	3'-2 1/2" x 6'-11"	CLOSET	PAINT	DBL DOOR 2x4 WALL
D20	1'-6" x 6'-8"	1'-8 1/2" x 6'-11"	PANTRY	PAINT	LEFT HAND OUTSWING 2x4 WALL
D21	1'-6" x 6'-8"	1'-8 1/2" x 6'-11"	PANTRY	PAINT	RIGHT HAND OUTSWING 2x4 WALL
D22	16'-0" x 1'-0"	VERIFY W/ MANUF.	GARAGE	PER MANUF.	2x6 WALL
D23	8'-0" x 1'-0"	VERIFY W/ MANUF.	GARAGE	PER MANUF.	2x6 WALL
D24	2'-10" x 6'-8"	3'-0 1/2" x 6'-11"	BATH	PAINT	LEFT HAND INSWING 2x4 WALL
D25	2'-4" x 6'-8"	2'-6 1/2" x 6'-11"	VARIABLES	PAINT	RIGHT HAND OUTSWING 2x4 WALL
D26	1'-6" x 6'-8"	1'-8 1/2" x 6'-11"	VARIABLES	PAINT	LEFT HAND OUTSWING 2x4 WALL
D27	1'-6" x 6'-8"	1'-8 1/2" x 6'-11"	VARIABLES	PAINT	RIGHT HAND OUTSWING 2x4 WALL

BUILDING #1
THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"

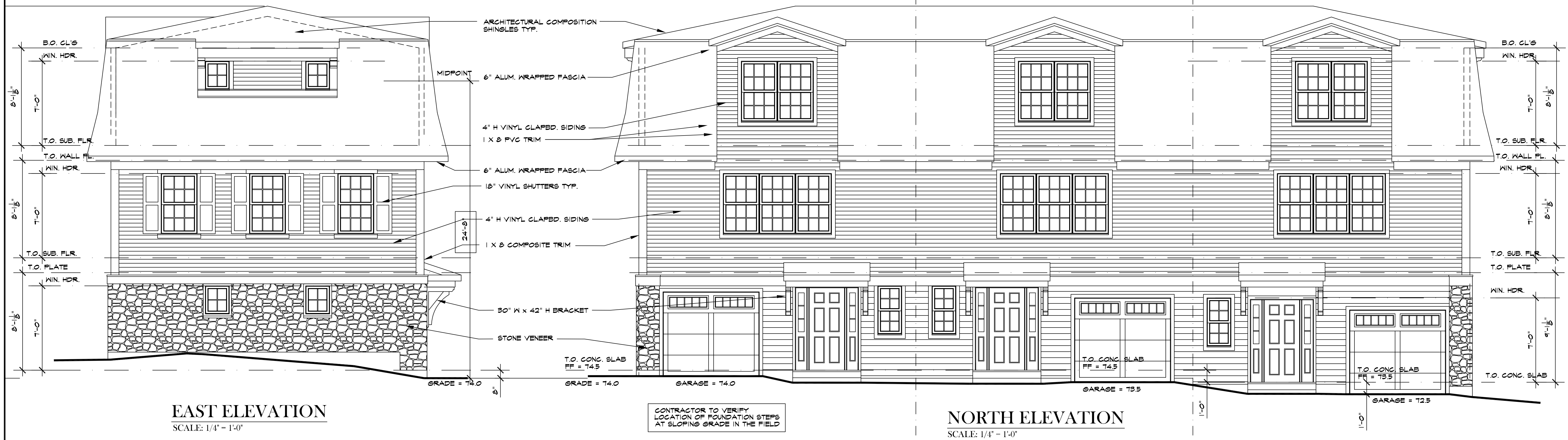
- [S] SMOKE ALARM
- [C] SMOKE ALARM / CARBON MONOXIDE DETECTOR
- [F] FAN

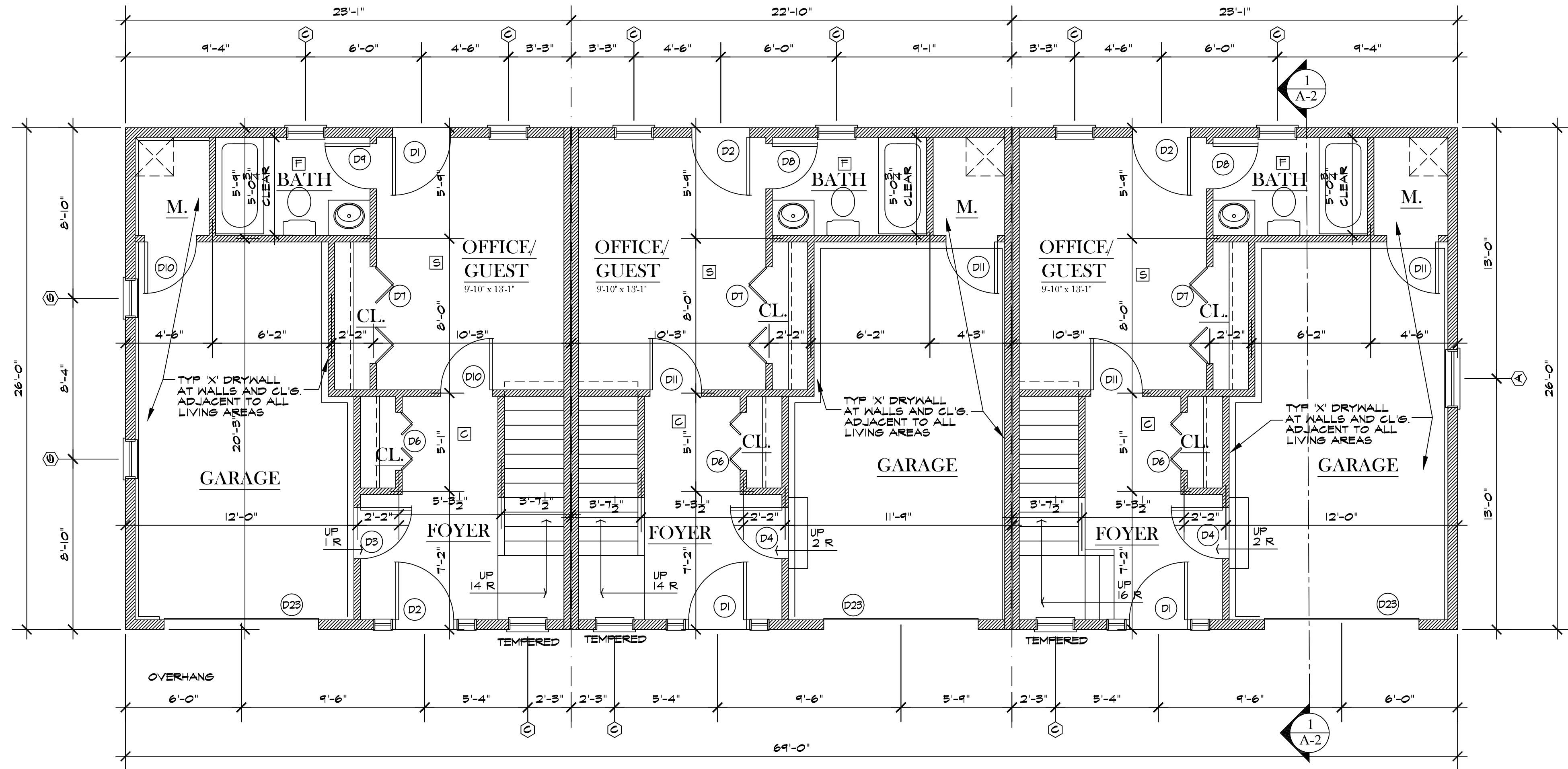
SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES AND MATERIALS REQUIRED

WINDOW SCHEDULE					
LTR.	MANUFACTURER	TYPE	SIZE	ROUGH OPENING	REMARKS
A	TO BE DECIDED	DBL. HUNG	3'-0" x 5'-0"	-	TEMPERED AT STAIRS UNIT A-1
B		DBL. HUNG	(2) 3'-0" x 5'-0"	-	-
C		DBL. HUNG	2'-0" x 4'-0"	-	TEMPERED AT LANDING
D		DBL. HUNG	(3) 3'-0" x 5'-0"	-	TEMPERED AT LANDING
E		CASEMENT	2'-0" x 3'-6"	-	-
F		CASEMENT	(2) 2'-0" x 3'-6"	-	-
G		AWNING	2'-0" x 2'-4"	-	TEMPERED AT TUB

ALL WINDOWS TO BE - 16U LOW E GLASS - 30 U FACTOR
ALL WINDOWS WITH SILL BELOW 2'-0" AFF. WILL BE EQUIPPED W/ CHILD FALL PROTECTION DEVICES PER CODE SECTION R-612

NOTES:
REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES AND MATERIALS REQUIRED
ALL WINDOWS WITH SILL BELOW 2'-0" AFF. WILL BE EQUIPPED W/ CHILD FALL PROTECTION DEVICES PER CODE SECTION R612
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ELECTRICAL INSTALLATIONS INSTALLED IN ACCORDANCE TO CODE SECTION R302.4



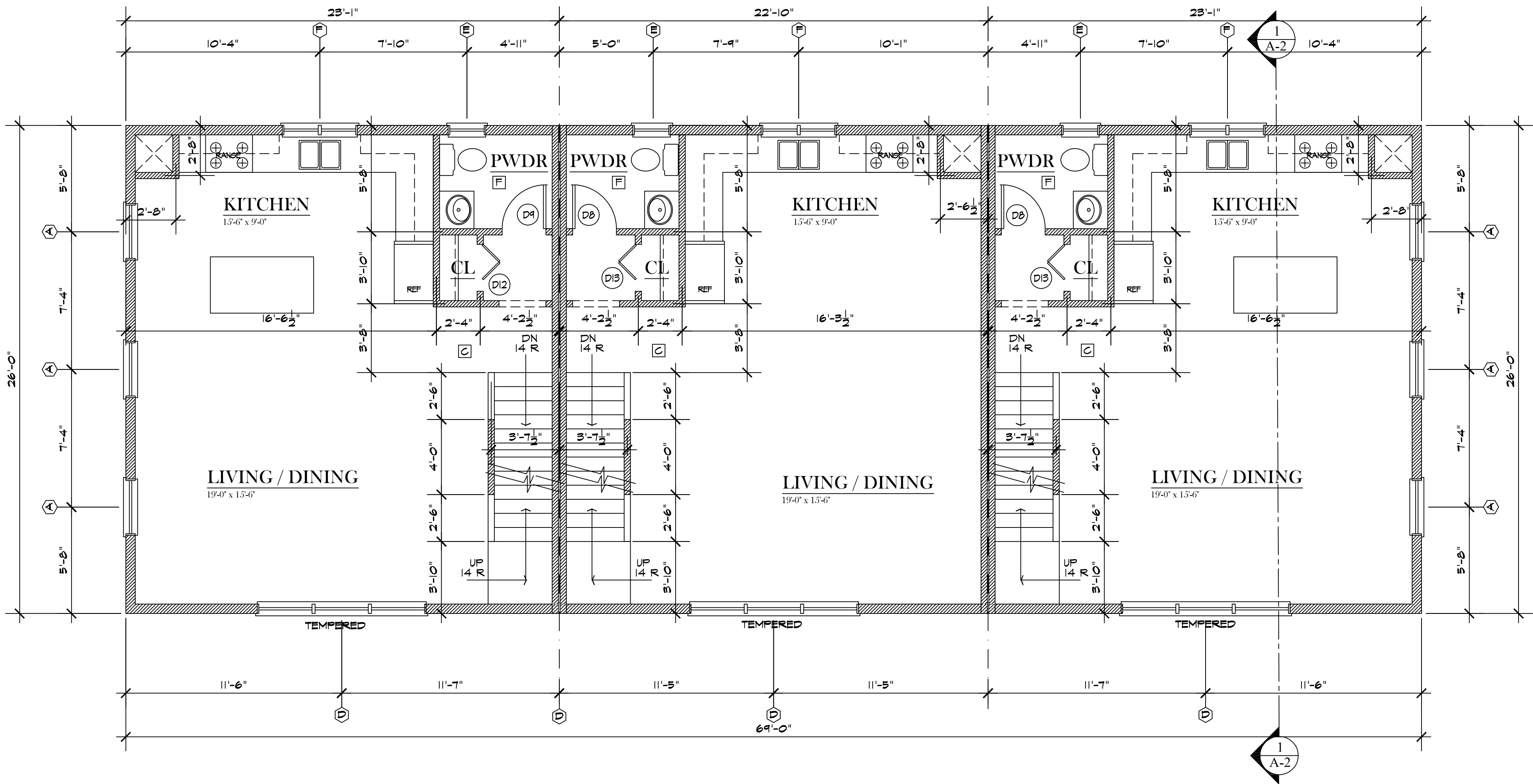


BUILDING #2
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

- [S] SMOKE ALARM
- [C] SMOKE ALARM / CARBON MONOXIDE DETECTOR
- [F] FAN

SEE STRUCTURAL DRAWINGS FOR ADDITIONAL
NOTES AND MATERIALS REQUIRED

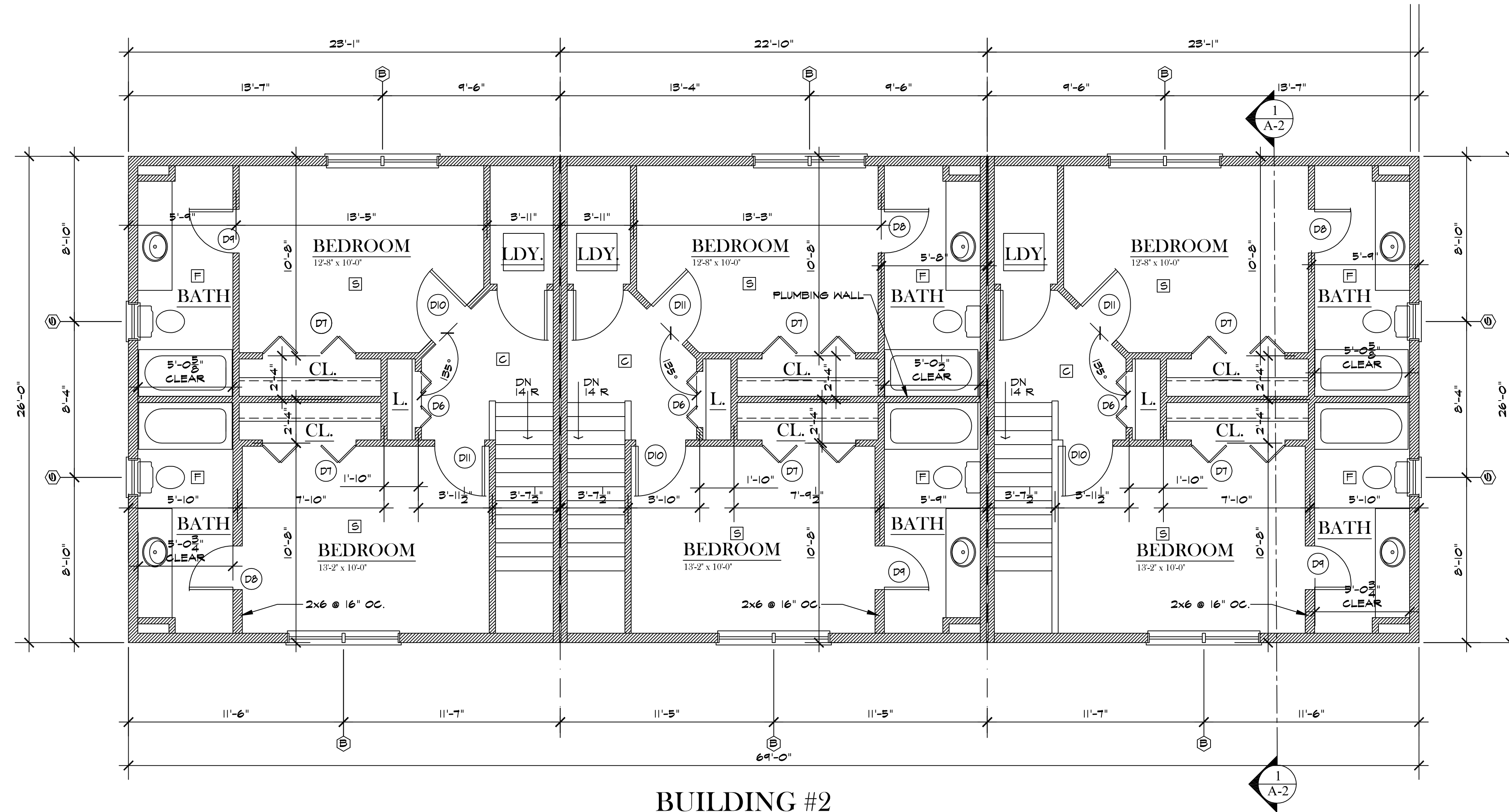


BUILDING #2
SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

- SMOKE ALARM
- SMOKE ALARM / CARBON MONOXIDE DETECTOR
- FAN

SEE STRUCTURAL DRAWINGS FOR ADDITIONAL
NOTES AND MATERIALS REQUIRED

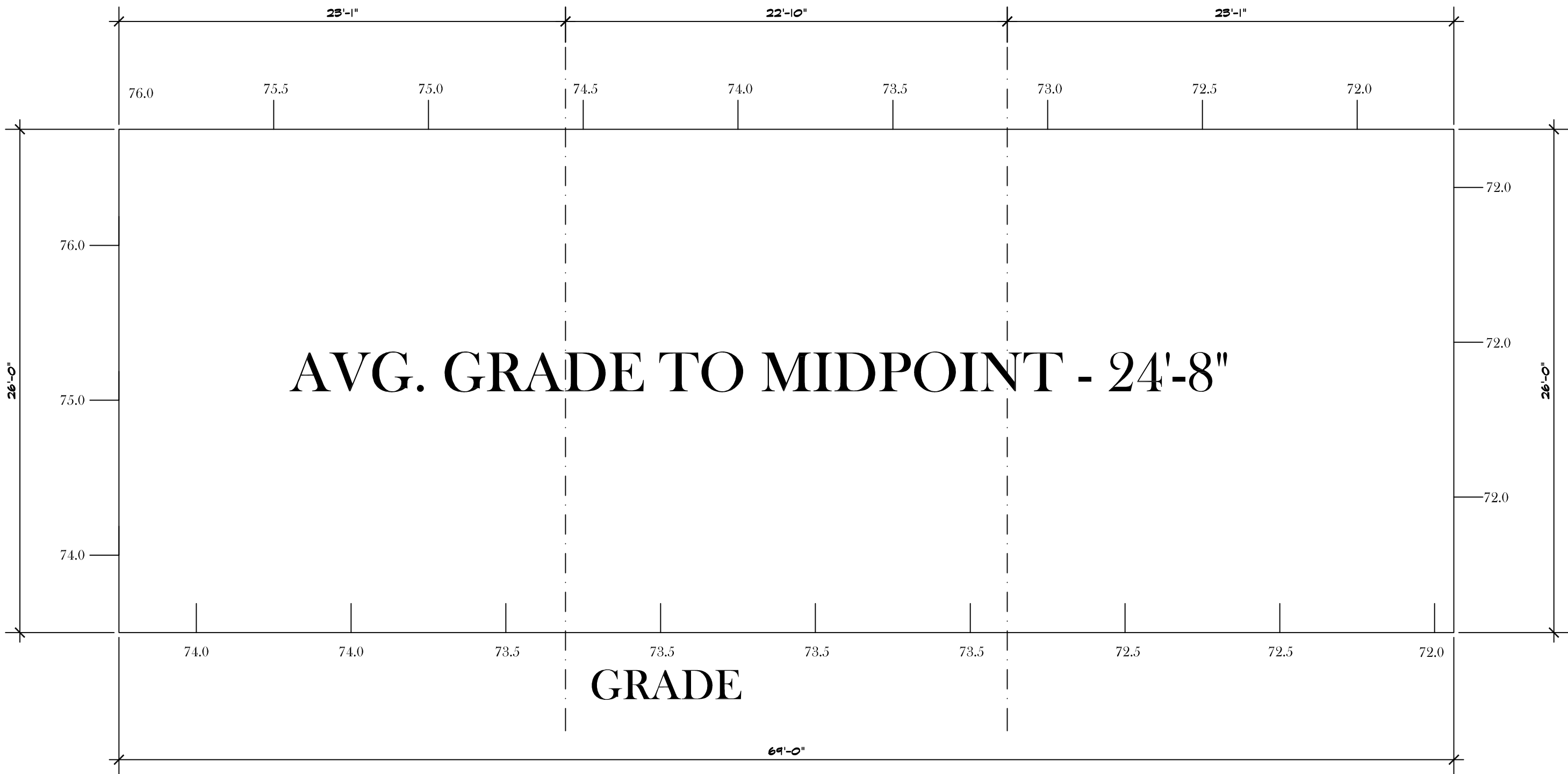
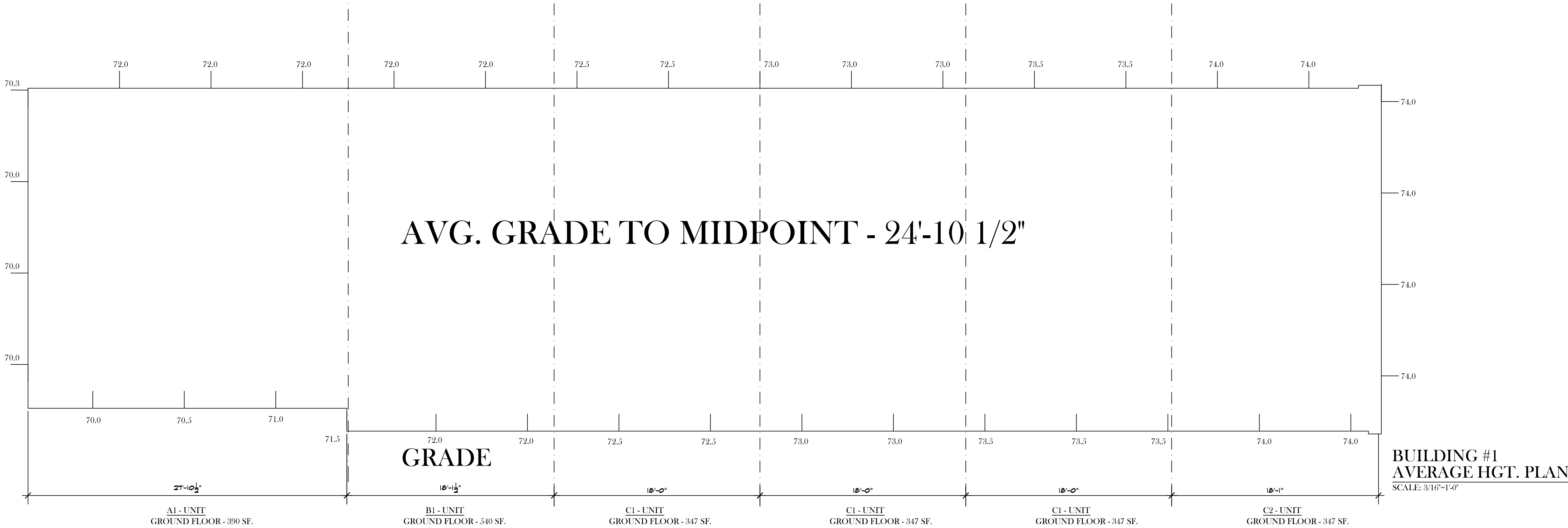


BUILDING #2
THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"

-  SMOKE ALARM
-  SMOKE ALARM / CARBON MONOXIDE DETECTOR
-  FAN

SEE STRUCTURAL DRAWINGS FOR ADDITIONAL
NOTES AND MATERIALS REQUIRED



BUILDING #2
AVERAGE HGT. PLAN
SCALE: 3/16"=1'-0"

**RESOLUTION AMENDING THE FISCAL YEAR 2021-2022 BUDGET OF THE COMMUNITY
DEVELOPMENT BLOCK GRANT FUND**

WHEREAS, the U.S. Department of Housing and Urban Development has notified the Town of West Hartford that the Town's Community Development Block Grant ("CDBG") allocation for fiscal year 2021-2022 is \$1,032,692; and

WHEREAS, the fiscal year 2021-2022 CDBG budget adopted by the Town Council on May 25, 2021 assumed funding similar with fiscal year 2020-2021 (\$944,778); and

WHEREAS, the fiscal year 2021-2022 CDBG budget should be amended to reflect the actual grant allocation, an increase of \$87,914; and

WHEREAS, there is need for additional funding in the Public Facility Improvements program and the Town Manager recommends appropriating the additional funding to this area; and

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL FOR THE TOWN OF WEST HARTFORD THAT the fiscal year 2021-2022 budget of the Community Development Block Grant Fund is hereby amended as follows:

Increase Estimated Revenues

13-40195006-9031	CDBG – Public Facility Improvements	\$87,914
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Increase Estimated Appropriations

13-40195006-3290	CDBG – Public Facility Improvements	\$87,914
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(HART)
June 22, 2021



Item 7C
**WEST
HARTFORD**



Energy Plan


West Hartford Clean Energy Commission | 2020

DRAFT – Feb 5, 2021

We aspire for our **entire** community
to use 100% clean energy by 2050.



How will we achieve 100% clean energy by 2050?

	2022 Goals	Long-Term Goals
Residential 	<ul style="list-style-type: none"> 30% of residents participate in EnergizeCT energy efficiency programs 10% of residents receive rebates for performing energy retrofits Drop in energy assistance applications (potential short-term increase) At least 6% drop in residential energy use Low-to-moderate income campaign and heat pump campaign 	<ul style="list-style-type: none"> 50% or more drop in residential energy use Wide-spread culture of conservation, use of programs No barriers to program participation Limited need for energy assistance
Commercial & Industrial 	<ul style="list-style-type: none"> 40% business participation in EnergizeCT programs 20% reduction in municipal energy use from FY13 At least 6% drop in commercial energy use 2 new C-PACE projects Lead by Example town-business campaign 	<ul style="list-style-type: none"> 50% or more drop in commercial and industrial energy use, including municipal Wide-spread culture of conservation, use of programs No barriers to participation Multiple C-PACE projects Green, high-performing or zero-energy buildings
Transportation 	<ul style="list-style-type: none"> EV strategy in municipal vehicle fleet plan and school bus contract RFP 1 more municipal EV charger 10% reduction in municipal fuel use from FY16 2% of registered vehicles are EV; at least 1 municipal EV Identify public transit champion; review related municipal employee policies EV educational event 	<ul style="list-style-type: none"> Fewer vehicle-miles travelled Integrated and accessible people-centric, multi-modal transportation system (e.g., walk, bike, mass transit, ride share, etc.) 100% of vehicles EV or powered by clean energy; including municipal fleet and school busses
Clean Energy 	<ul style="list-style-type: none"> 1,000 West Hartford homes have solar, including low-to-moderate income 100% municipal electricity supplied by clean, renewable sources; Assess rest of municipal sites for solar; investigate possible microgrid in town Explore development of a greenhouse gas inventory and Climate Action Plan Advocate for policy and legislation to encourage clean, distributed local generation 	<ul style="list-style-type: none"> 100% of West Hartford's energy supplied by clean, renewable sources Well-developed clean, distributed local generation Multiple microgrids in town

Scope of Energy Plan

This Energy Plan was developed by the Town of West Hartford’s Clean Energy Commission (WH-CEC), a group of volunteer residents and town staff.

We welcome future opportunities to include the content of this Energy Plan into broader town planning efforts.

What this plan IS	What this plan IS NOT
<ul style="list-style-type: none">• A successor to the Town’s 2009 Energy Plan (See Appendix 1)• An update on efforts undertaken since the initial Energy Plan was implemented• A framework to guide future efforts of the WH-CEC and description of actions that must be taken to make progress• Focused on the entire West Hartford community• Focused on the topic of energy efficiency and clean energy	<ul style="list-style-type: none">• A comprehensive Sustainability, Climate Action, or Resiliency Plan• A technical reference document• An inventory of the Town’s green house gas emissions• Focused on waste management, recycling, food sustainability, open space management, forest management, bicycle or pedestrian infrastructure or safety, water, etc.

Note that additional examples and suggestions are included as [endnotes](#) to enhance the readability of this document.

What does Clean Energy mean to West Hartford?

For the purposes of this plan and the WH-CEC, clean energy is defined as the **generation of energy** for consumption within West Hartford that **causes zero emissions of greenhouse gases and low or zero emissions of criteria pollutants**.

In general terms, clean energy is related to energy generation without the use of fossil fuels. The WH-CEC recognizes that there a variety of “cleaner” energy sources (e.g., natural gas fuel cells, nuclear, anaerobic digestion, liquid biofuels) which may warrant consideration on a case-by-case basis or as more immediate alternatives. Actions which lead to a reduction in net energy consumption (i.e., energy conservation & efficiency) are considered “cleanest,” as they require no energy generation.

2020 Perspective

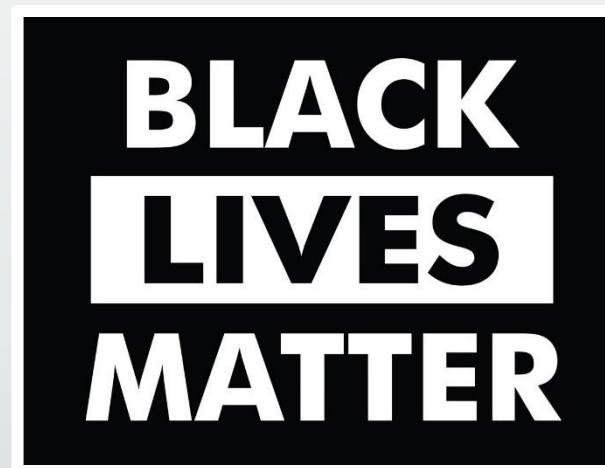
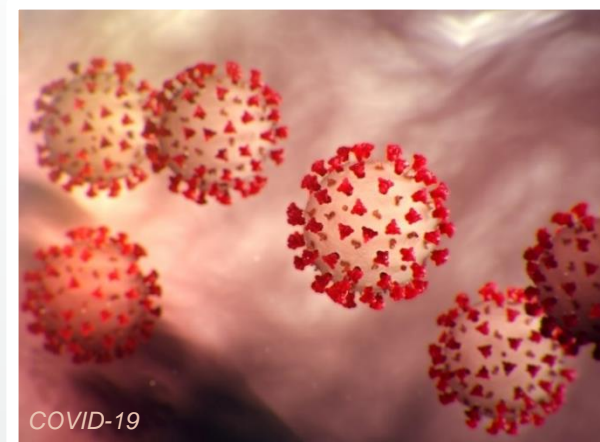
This Energy Plan was largely written before the COVID-19 outbreak, the death of George Floyd, and other tragic events which have catalyzed widespread social unrest and a national conversation on the topics of racism and inequality.

We felt it necessary to acknowledge that these events have changed the way we look at the world, even in the context of this plan.

We must move forward on energy in a meaningful, inclusive way. To do so, we must focus on equity and environmental justice. This includes seeking out multiple perspectives and looking for intersectional solutions. It involves acknowledging and calling out individual and systemic racism. And it means committing to work actively and deliberately to dismantle barriers and transform our institutions, policies, and practices so that they work for everyone.

Disruption affords us an opportunity: to recover and rebuild in a deliberate way, not back to “normal,” but back to better. To choose a different path, a different energy path – a clean, equitable, and just path. A path that is sustainable for the future. **The choice is ours.**

The Governor’s Council on Climate Change (GC3) has established a Equity and Environmental Justice Working Group which issued a [report](#) and held a series of [webinars](#) in 2020. Sustainable CT also offers an [Equity Toolkit, training, and support](#). These organizations can serve as valuable references to provide frameworks as we move forward.



Commitments

The leadership of West Hartford have already made formal commitments to many of the ideas contained in this plan by:

- Establishing a Clean Energy Commission
- Signing the [U.S. Conference of Mayors Climate Protection Agreement](#) to reduce greenhouse gas emissions below 1990 levels in accordance with the Kyoto Protocol
- Participating in Energize CT's [Clean Energy Communities](#) program
- Being a [U.S. EPA Green Power Partner](#)
- Signing onto the [Climate Mayors](#) open letter in response to the U.S. withdrawal from the Paris Agreement.
- Becoming certified under [Sustainable CT](#)'s voluntary municipal certification program



THE UNITED STATES
CONFERENCE OF MAYORS



Introduction

Energy is essential. It is the lifeblood of West Hartford. It heats and cools our buildings, powers our lights and appliances, and allows us to travel to work and play. Yet, most of our energy still comes from the burning of fossil fuels, by far the largest contributor to greenhouse gas (GHG) emissions and global climate change.

Energy use comes with an intrinsic **responsibility** to consume and produce it sustainably. Recognizing and **acting** on this responsibility today is necessary to ensure that West Hartford continues to thrive and prosper. It protects our future and our children's future. It also offers opportunities to shape what that future looks like **for everyone**.

As a community, we have the power to effect change. The West Hartford Clean Energy Commission has prepared this 2020 Energy Plan to build on the work of its 2009 Energy Plan and to guide the Town toward greater energy efficiency and use of clean energy.

Implementing this plan will yield many benefits to our residents and businesses:

- **Economic and financial:** Saving energy saves money: money that can be spent for other basic needs, or to support our local economy and create new jobs.
- **Environmental, health, comfort:** By saving energy and reducing fossil fuel use, we will lower emissions, improve air quality, and improve health, especially for vulnerable populations like children, seniors, and environmental justice communities. By making our homes and businesses more energy efficient, they will also be more comfortable.
- **Equity and inclusion:** By focusing on inclusive solutions to save energy and provide assistance, we will make a difference in the lives of all our residents, including marginalized or at-risk communities and those who bear the largest energy burdens.
- **Security and resiliency:** By reducing overall energy needs, modernizing our grid and increasing local generation, we will make our energy supply more secure and be in a better position to weather storms, outages, economic fluctuations, and other natural or man-made disasters.



Mayor Cantor and Council Members Sweeney and Kerrigan activate Town Hall's solar array, October 2019.

The State of Connecticut is committed to reducing its greenhouse gas emissions 45% from 2001 levels by 2030. Governor Lamont's Executive Order No. 3 commits Connecticut to 100% carbon neutral electricity by 2040. This Energy Plan aims to achieve similar goals for West Hartford: **We aspire for West Hartford to achieve 100% clean energy by 2050.**

While it will be difficult to realize this vision, it is both **achievable** – even with today's technology – and **realistic** – as other cities and states have set similar goals and timelines. There is general consensus that "business as usual" is no longer an option. Recently, more voices – for youth and environmental justice – are demanding action.

By fostering a **culture of conservation** throughout our community and by making the right choices, West Hartford can address energy and climate change challenges in a meaningful way. Over the last decade, the Town has led by example. With the adoption of this plan, we will move our community forward into an efficient, clean, inclusive, and sustainable future.

West Hartford Clean Energy Commission, 2020

West Hartford's Energy by Numbers

With approximately 64,000 residents, West Hartford is the 9th largest municipality in Connecticut; we also rank 9th in energy use.

The West Hartford Clean Energy Commission worked with Connecticut-based, nonprofit PACE (People's Action for Clean Energy) to compile data from local utilities and the Town's grand list to estimate total community energy use. This use includes 3 sectors: **Residential**¹; **Commercial & Industrial (C&I)**²; and **Transportation**³. Details on these estimates can found in Appendix 2. In this analysis, all fuel types are converted to electricity (GWh) equivalent.

We estimate that in 2019, West Hartford:

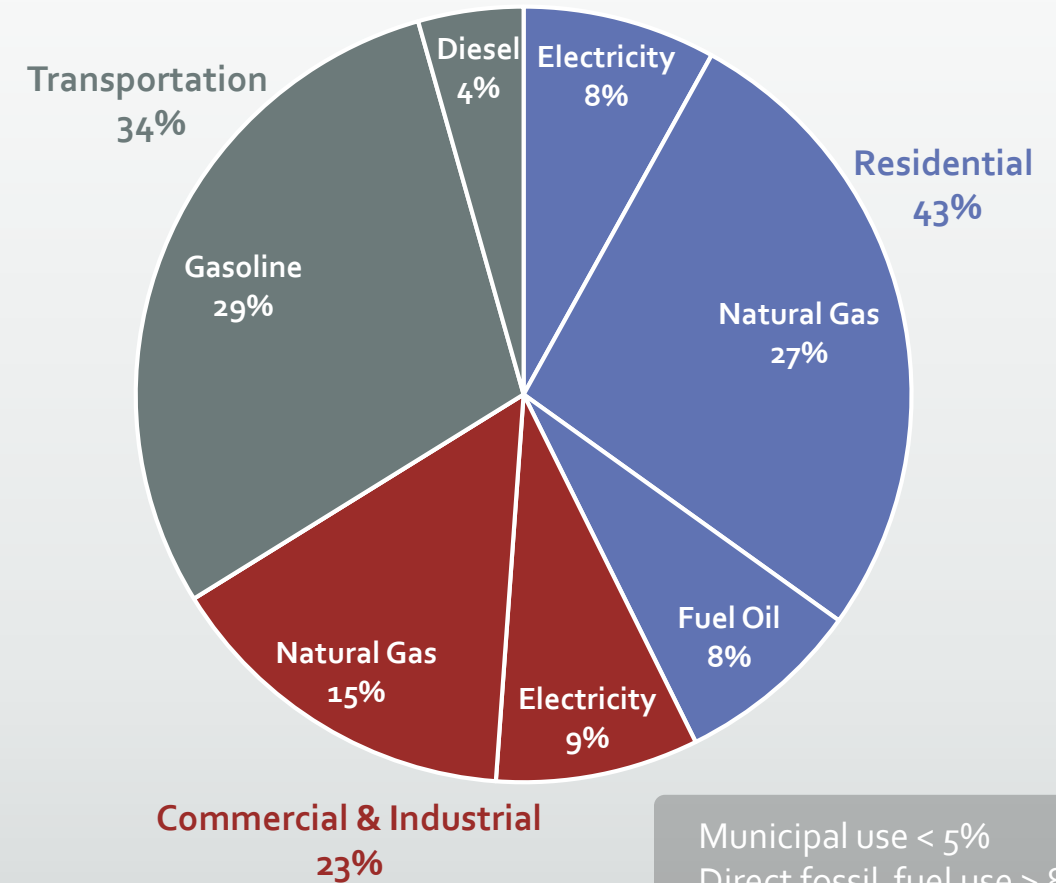
- Spent \$176.1 million on energy, or \$2,783 per person.
- Consumed the energy equivalent of 2,227 Gigawatt-hours, or approximately 35,000 kilowatt-hours (kWh) per person.
- Generated 563,063 tons of greenhouse gases (GHG), or ~9 tons per person.

As shown in the figure at the right, 2/3 of West Hartford's energy use is Residential, Commercial, & Industrial (primarily building use), while 1/3 is Transportation. **Municipal operations**, which are included in Commercial, **account for less than 5% of the total.**

Direct fossil fuel use, which is the largest contributor to green house gas emissions and climate change, **accounts for over 80% of West Hartford's total energy use.** Residential and Commercial & Industrial buildings largely rely on natural gas and fuel oil for heating. Our Transportation is almost exclusively comprised of gasoline and diesel vehicles.

Electricity represents 17% of total energy use. Today, in Connecticut, most of our electricity still comes from natural gas (a fossil-fuel) and nuclear generation. However, there is increasing activity aimed at reducing emissions and transitioning to clean energy sources in this sector.

2019 Total Energy Use = 2,227 GWh

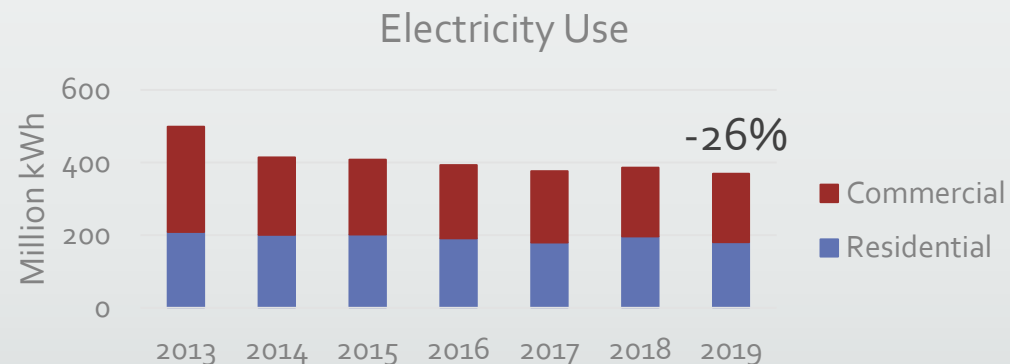


West Hartford's Energy Trends

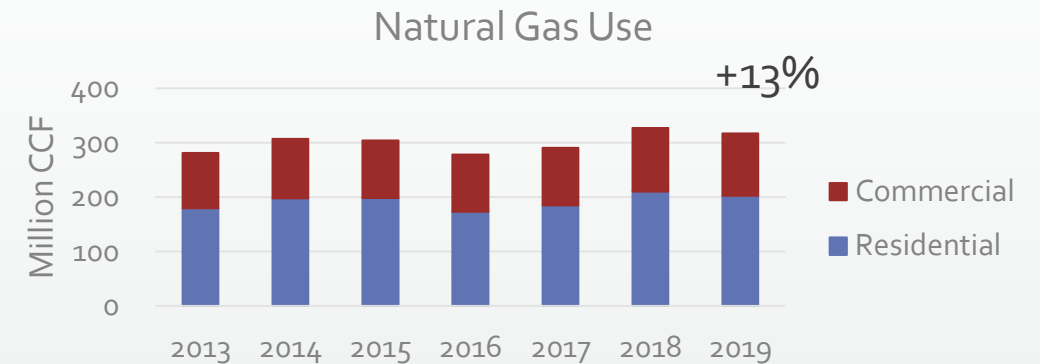
West Hartford's total energy use is up 1% from 2017, the first time the Clean Energy Commission compiled these numbers. This could be due to increased reliance on energy in our daily lives or an increase in economic growth. West Hartford's population has remained fairly stable over the last 30 years.

Year	Total Energy Use (GWh)	% Change
2017	2,181 GWh	-
2019	2,227 GWh	+1%

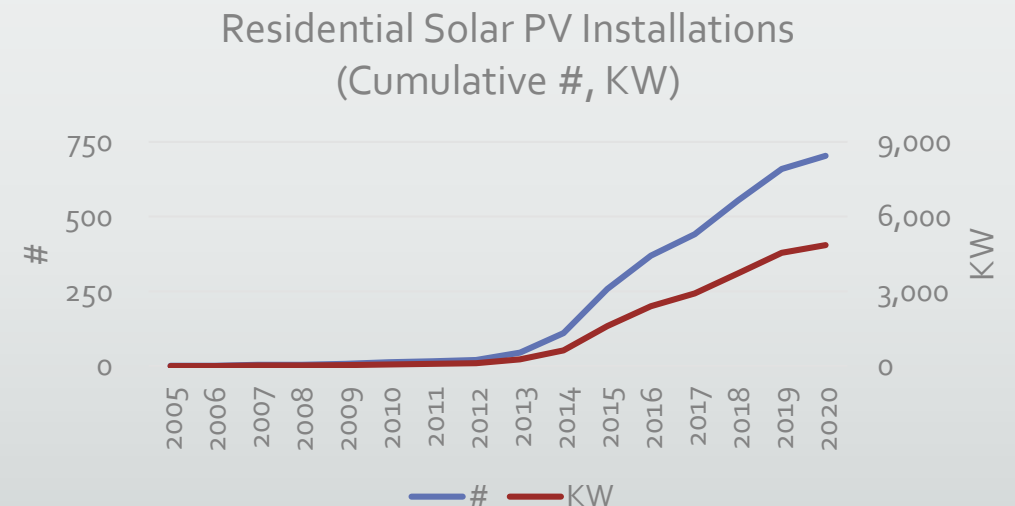
As reported by local utilities, West Hartford's electricity use has declined 26% since 2013 to 369 Million kWh in 2019. The Commercial sector has seen a bigger drop than Residential. Energy efficiency and solar energy, generated and consumed on site, or behind the meter, are likely reasons for this drop.



In contrast to electricity, natural gas use has increased 13% since 2013 to 31.7 Million CCF in 2019. Conversions to natural gas are likely one of the drivers behind this increase. Weather can also impact the annual use of natural gas for heating.



Another notable trend in the last decade is the increase in solar photovoltaic (PV) installations. Over 700 West Hartford homes have gone solar, with a total generation capacity of nearly 5 MW, or 6 Million kWh annually. Since 2014, West Hartford has added about 100 residential installations a year. Twelve municipal buildings, including 7 schools, also have solar.



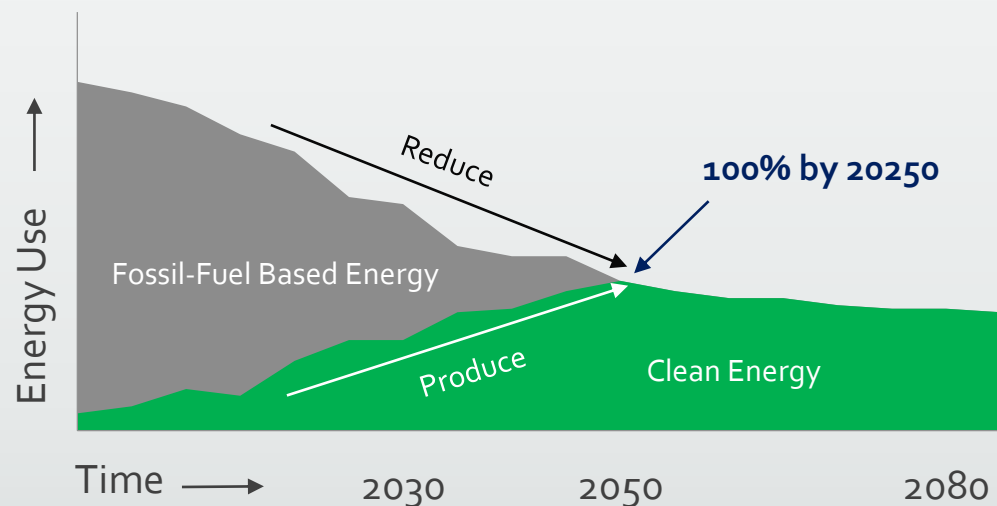
100% by 2050

West Hartford aspires for our entire community to use 100% clean energy by 2050.

The path to 100% by 2050 comprises two complementary actions as shown in the chart below:

1. **Reduce:** We must reduce our overall energy consumption dramatically.
2. **Produce:** We must increase the amount of energy that comes from clean sources.

The goal is to reach a point – 100% by 2050 – where our new efficient level of consumption is supplied entirely by clean energy sources.



Reducing energy use must be a priority. We estimate that in order to reach 100% by 2050, West Hartford will need to reduce energy consumption by about 50-60% in roughly 30 years. This may seem like an impossible task, but it only requires a **2.5 - 3% drop per year**.

There are many ways to reduce energy use: from implementing behaviors or practices that use less or no energy⁴, to installing proven energy efficiency measures⁵, to investing in new technologies⁶. Many experts believe that if we are to achieve both significant reductions in energy use and end reliance on fossil fuels, we must strategically electrify our energy demands. Long-term, we might even expect the amount of electricity we use to increase, even as GHG emissions go down. It will require integrated policy and planning to ensure reliable infrastructure and capacity is available to support these changes⁷.

As we strive to Reduce, we must also Produce. Producing, or satisfying, all of our energy needs with clean energy will not happen overnight. It will involve a range of near-term solutions to replace the use of fossil fuels and long-term solutions to improve the reliability of electricity generation and distribution⁷.

The path to 100% by 2050 will be an evolving journey, but one we must take. Some key elements of this Energy Plan are:

1. Reduce energy use by improving the efficiency of all categories of existing and new buildings.
2. Transition heating and cooling in buildings to more efficient technologies with reduced reliance on fossil fuels.
3. Reduce energy use and emissions from transportation by supporting alternative mobility (e.g., bike, walk, public transit) and the transition to biodiesel or electric vehicles, including planning for infrastructure⁸.
4. Promote the responsible development of renewable energy generation in town.
5. Explore and advocate for other clean energy options both locally and regionally, including collaboration with utilities to transition to a cleaner generation mix and to modernize our electric grid to enable higher levels of renewables and reliability.
6. Ensure that our solutions are inclusive and equitable, serving and protecting the interests of all our residents.

Approach

The cheapest, cleanest energy is the energy you don't use. Efficiency offers the possibility of saving money and reducing energy consumption before turning to the more complex, often more expensive, question of energy generation.

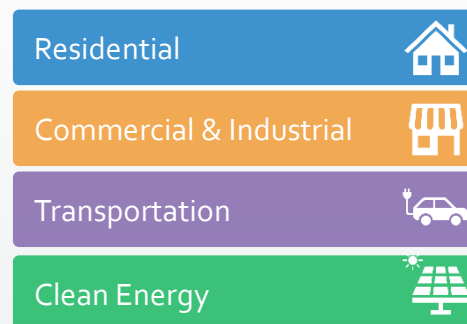
We seek to “Reduce” or drive down energy use in the **Residential**, **Commercial & Industrial**, and **Transportation** sectors and to “Produce” or increase the supply of **Clean Energy** using 4 strategies that are within our power, as a Commission and a Town, to accomplish. These strategies are:

1. Seek out community **input** and multiple perspectives at all stages of planning and implementation to ensure **equitable** solutions.
2. Provide **education** and **outreach** to foster a culture of conservation and engage the community to make responsible energy choices.
3. Facilitate and support **participation** in energy programs and services and the **adoption** of energy efficient behaviors, practices, technologies, and capital improvements.
4. Develop and support **policy** and **planning** to ensure a sustainable clean energy future and the infrastructure to support it.

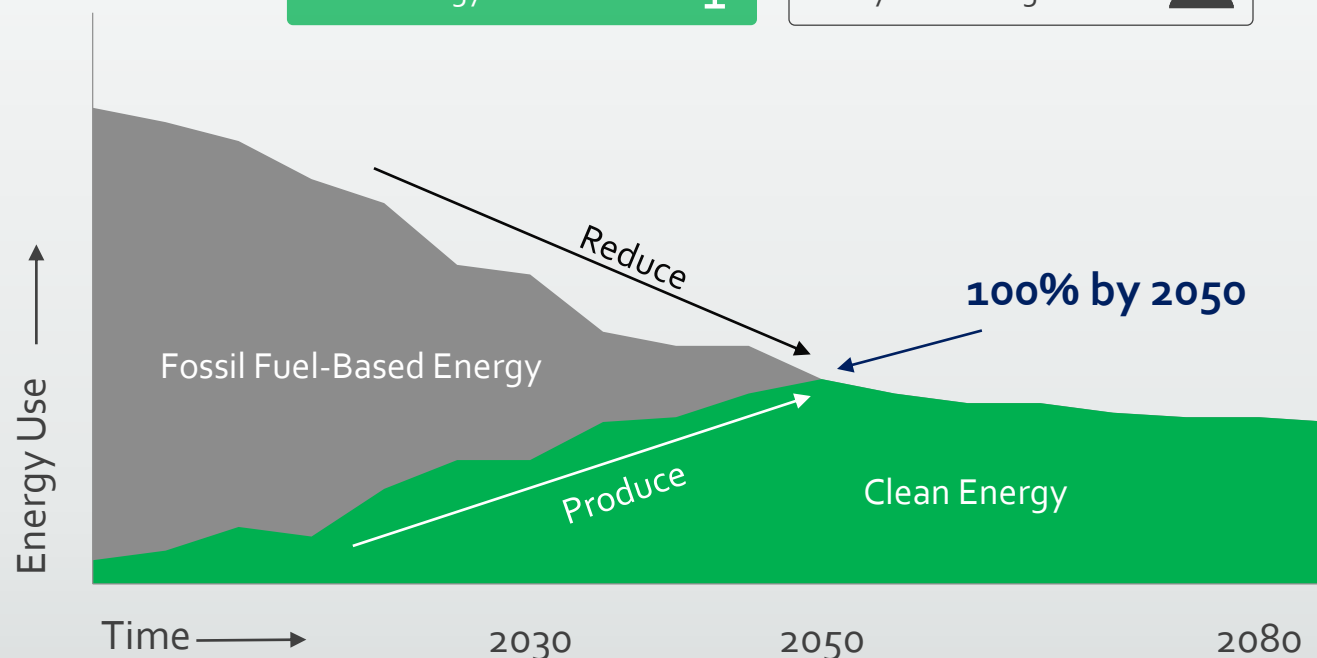
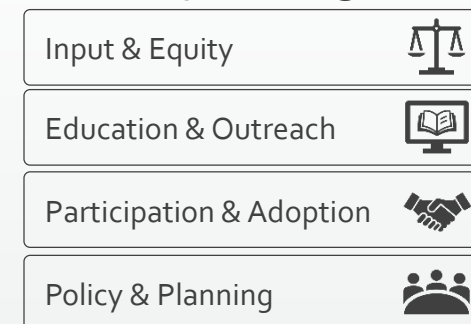
Our approach centers on giving people – residents, staff, and elected leaders alike – the knowledge, tools, and support to make responsible energy choices for themselves and to move West Hartford towards 100% by 2050.

We have also selected a handful of indicators for each sector that we believe will provide insight into our progress towards 100% by 2050. While not perfect or comprehensive by any means; these metrics are readily available. Additional metrics may be developed or substituted in the future.

4 Key Sectors



4 Key Strategies





Residential

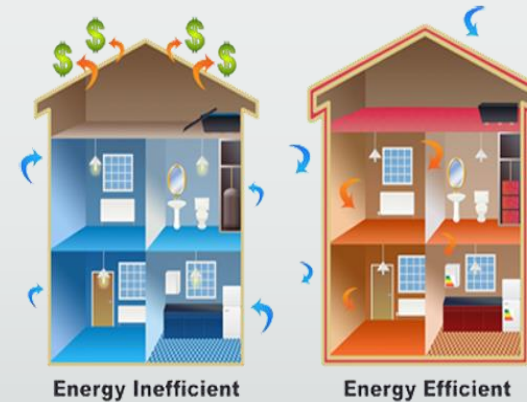
Over 40% of West Hartford's energy use is Residential. About 50% of a household's annual energy use is for space heating and cooling. In West Hartford, most homes heat with fossil fuels – natural gas (66%) or fuel oil (31%). Our state also has some of the highest electric rates in the country. Some members of our community struggle to pay their utility bills.

Often, people can save energy and money at home by implementing simple no-cost or low-cost practices^{4, 5}. However, significantly reducing a home's energy use requires more work. A large majority (over 80%) of West Hartford homes were built before 1970. Weatherization and efficiency projects⁵ can have an immediate impact by reducing energy bills and delivering savings year after year to pay for other critical needs or to pay off an investment. Many improvements have additional benefits of making a home more comfortable or increasing property value.

A wide range of programs, incentives, and financing options exist for residents to make their homes more efficient or to purchase energy-efficient equipment. Additional assistance is available for residents who meet income eligibility criteria and for new residential construction.

Mere existence of programs does not always mean that people are able use or benefit from them. In some cases, programs are complicated or slow. Barriers, such as language or environmental health, or safety issues also prevent access to services¹⁰. In West Hartford, nearly 30% of housing units are rentals, which depend on landlords for significant energy upgrades. A greater number of renters are people of color, minorities, or elderly. Nearly 50% of West Hartford renters are also cost-burdened (where rent > 30% of income) leaving little money left over for basic necessities. There are also low-to-moderate income families who make too much money to qualify for assistance programs, but still cannot afford major upgrades or access financing.

By seeking community input and addressing specific needs and inequities, we can be more effective in helping all residents take control of their own energy use and mitigate the need for increased fossil-fuel based energy generation.





Residential Progress & Goals

Progress-to-Date

- 20% of households participate in EnergizeCT energy efficiency programs
- LED lightbulb swaps held at libraries and Elmwood CC
- Occasional community presentations and WH-CPTV programming
- Community Renewal Team energy assistance case officer located on-site at Town Hall



We are very happy with our decision to install an electric heat pump to replace our loud, inefficient window A/C units. Our house is more comfortable now, in both the summer and winter. We only need to rely on our gas furnace on very cold days.

- Max DuBuisson, Ballard Dr.

Approach



1. Input & Equity. Seek out multiple perspectives and public participation to ensure all members of the community have a voice. Work with partners like Social Services, Housing Authority of WH, WH Public Schools, houses of worship, neighborhood groups, EnergizeCT, Efficiency for All, Sustainable CT, utilities, contractors, etc.



2. Education & Outreach. Increase behavioral and energy efficiency awareness via multi-touch, multi-channel messaging. Use website, social media, email, tax inserts, video, events, networking, door-to-door, etc. Consider using multiple languages. Leverage partner publications, events, and communication channels.



3. Participation & Adoption. Promote Home Energy Solutions and other energy programs. Host giveaways or sign-up events. Educate about energy efficiency^{4,5,6}. Showcase positive examples and stories. Target specific groups such as multi-family, landlords, low-to-moderate income residents, oil-heated homes, new homeowners, etc. Identify and address barriers¹⁰.



4. Policy & Planning. Investigate use of municipal building tax codes to accelerate efficiency and equity. Support implementation of Plan of Conservation and Development (POCD). Work towards no fossil fuel or zero-energy new construction policy. Build political power to support and advocate for legislation, including increased funding and wise, equitable use of Connecticut Energy Efficiency Funds and more stringent energy codes.

Benefits

- Lower energy bills
- More comfortable, healthy living environments
- Reduced need for energy generation
- Lower CO₂ and greenhouse gas emissions
- Greater security
- Greater resiliency during extreme weather
- Local job creation

2022 Goals

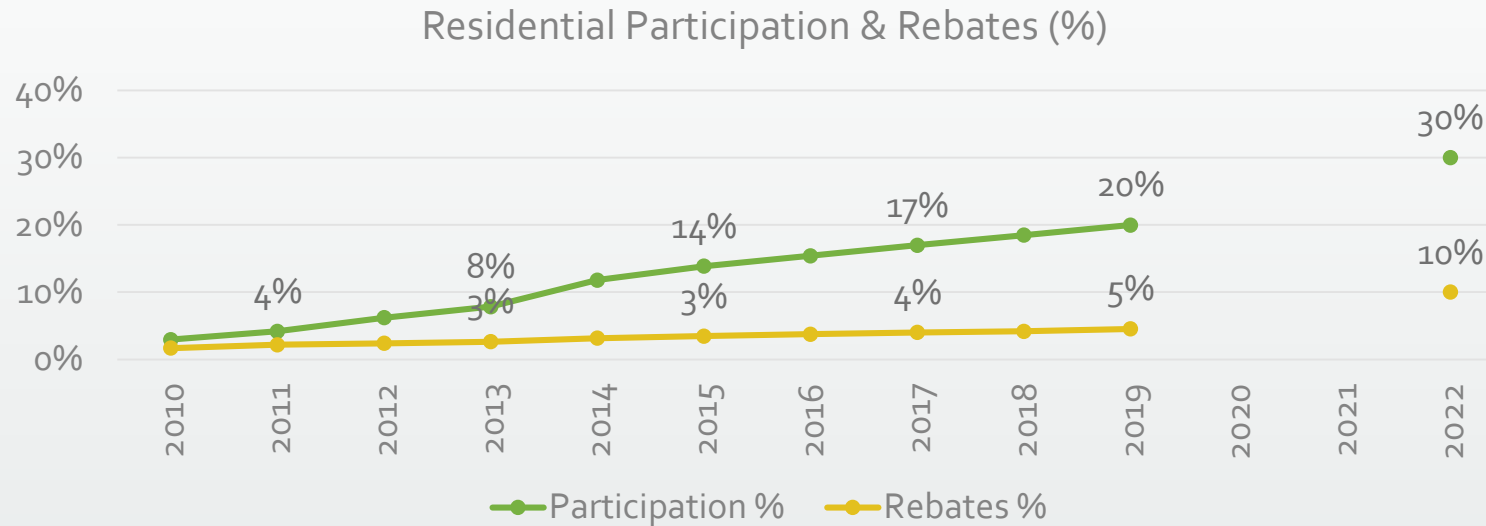
- 30% of residents participate in EnergizeCT energy efficiency programs
- 10% of residents receive rebates for performing energy retrofits
- Drop in energy assistance applications (potential short-term increase to reflect people getting help they need)
- At least 6% drop in residential energy use
- Low-to-moderate income efficiency campaign
- Heat pump education campaign

Long-Term Goals

- 50% or more drop in residential energy use
- Wide-spread culture of conservation, use of programs
- No barriers to participation
- No need for energy assistance

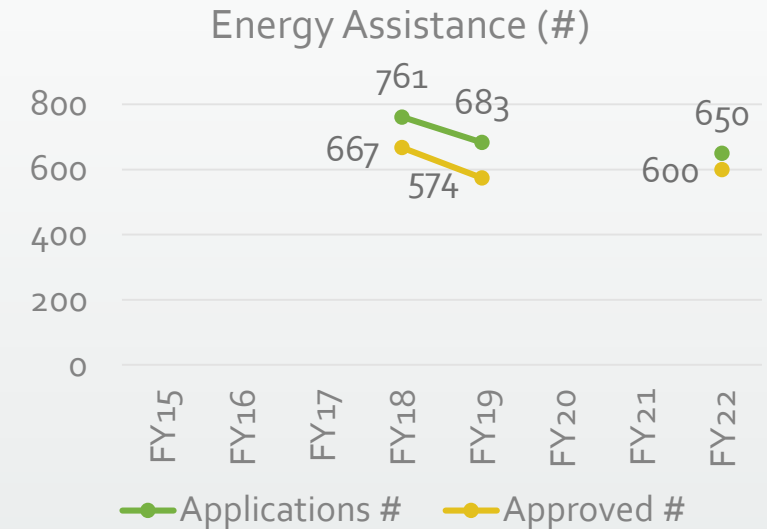


Residential Indicators



1. **Residential Participation** is the % of West Hartford's households that have participated in EnergizeCT energy efficiency programs like Home Energy Solutions, Home Energy Solutions-Income Eligible and Residential New Construction. Source: EnergizeCT.

2. **Residential Rebates** is the % of West Hartford's households that have received an energy rebate for installing a qualifying project or equipment. This % is lower than Residential Participation, meaning that not all households that participate in an initial home assessment do follow-on energy efficiency projects. Source: EnergizeCT.



3. **Energy Assistance** is the number of applications received from West Hartford residents and the number of those applications received that are approved for energy assistance. Source: Community Renewal Team and Town of West Hartford, Social Services. #s back to FY15 coming.



Commercial & Industrial

28% of West Hartford's energy use is Commercial & Industrial (C&I)². The C&I sector differs from Residential: there are fewer – often larger – properties and fewer owners, both private and municipal. Building energy systems may be centralized and have high demand at certain times of the day. Space heating is typically natural gas and represents about 25% of building energy use. Leases or other contractual arrangements can make it complicated to align the energy and capital improvement interests of owners and tenants.

Like Residential, there are a wide range of energy incentives and financing programs available to C&I property owners. Available programs target existing buildings and new construction, as well as private businesses, non-profits, institutional, and municipal customers. Some projects⁵ can reduce energy use by over 50% and pay for themselves quickly, yielding a high return on investment. These shorter-payback measures can be “packaged” with more expensive capital items⁶ for comprehensive energy upgrades.

The Town of West Hartford has led by example, using utility programs to implement over \$5M of energy efficiency projects across the portfolio of municipal properties in the last 5 years. These projects, which include building control system upgrades and LED interior, exterior, and street lights, have helped reduce municipal electricity use by 25%. In 2016, Charter Oak International Academy was rebuilt to LEED Gold green building standards with rooftop solar PV and a geothermal / electric heat pump system for heating and cooling. This school is the district's top energy performer. Passive design which focuses on climate-based techniques to minimize energy use combined with renewables to achieve net zero – is becoming increasingly popular and cost-effective in new construction, especially with the public sector and educational institutions.

Establishing green team or regular messaging and reporting to emphasize a culture of conservation and efficient practices can also be effective in organizations, as can corporate or employee workplace policies.

Today's environment makes it increasingly difficult for local businesses to survive, and even harder for minority-owned businesses. Energy efficiency – done right – can improve the bottom line for everyone.





Commercial & Industrial Progress & Goals

Progress To Date

- 28% of businesses participate in EnergizeCT energy efficiency programs
- 2 C-PACE projects
- Over \$5 Million of energy efficiency projects implemented in municipal buildings with savings over \$1 Million annually.
- 15% decrease in municipal energy use since FY13
- Direct mail efforts in partnership with vendors and CT Green Bank



All of our schools and municipal buildings have been retrofitted to LED lights. Electricity use (kWh) is down 25% since 2015; there is also a noticeable drop in demand (KW). Our classrooms have brighter, more consistent light and maintenance costs have virtually disappeared. It's a win-win.

—Catherine Diviney, Energy Specialist

Approach



1. Input & Equity. Seek out multiple perspectives and public participation to ensure all members of the community have a voice. Work with partners like Chamber of Commerce, Community Development, neighborhood business associations, CT Green Bank, design professionals, contractors, utilities, building occupants, maintenance, and custodial staff, etc.



2. Outreach & Engagement. Increase awareness of behavioral strategies⁴, programs, and benefits. Share results. Use word of mouth and business-to-business networks. Leverage partner publications, events, and communication channels.



3. Participation & Adoption. Promote Small Business Energy Advantage, C-PACE, LEED, Energy Star, and other commercial energy efficiency or certification programs. Encourage the formation of green teams in buildings and tracking of energy use. Meet with individual property owners and companies. Identify and address barriers to be overcome. Have the Town and local businesses share their success stories, projects, and experience.



4. Policy & Planning. Investigate use of municipal building, tax codes, procurement, standards and recognition programs to accelerate efficiency. Support implementation of the Plan of Conservation and Development (POCD). Consolidate municipal facilities and programs into newer or renovated facilities that are more energy efficient. Work towards no fossil fuel or zero-energy new construction policy. Build political power to support and advocate for applicable legislation and oversight¹¹.

Benefits

- Lower energy bills
- More comfortable, healthy working, educational environments
- Reduced need for energy generation
- Lower CO₂ and greenhouse gas emissions
- Greater security
- Greater resiliency during extreme weather
- Local job creation
- Enhanced public image

2022 Goals

- 40% of businesses participate in EnergizeCT energy efficiency programs
- 20% decrease in municipal energy use since FY13
- 6% drop in C&I energy use
- 2 new C-PACE projects
- Lead by Example Town-business campaign

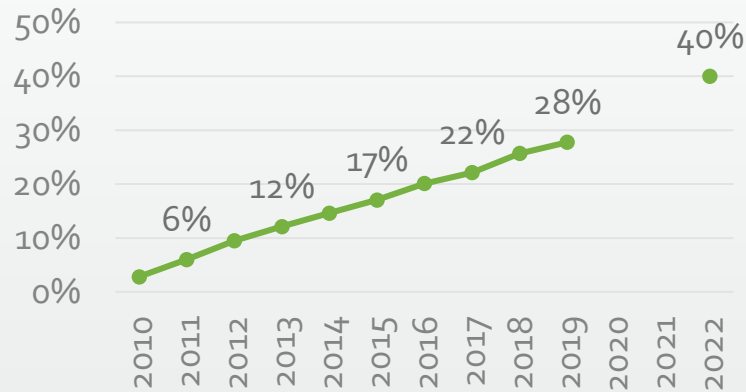
Long-Term Goals

- 50% or more drop in C&I energy use, including municipal
- Wide-spread culture of conservation, use of programs
- No barriers to participation
- Multiple C-PACE projects
- Green, high-performing, or zero-energy buildings

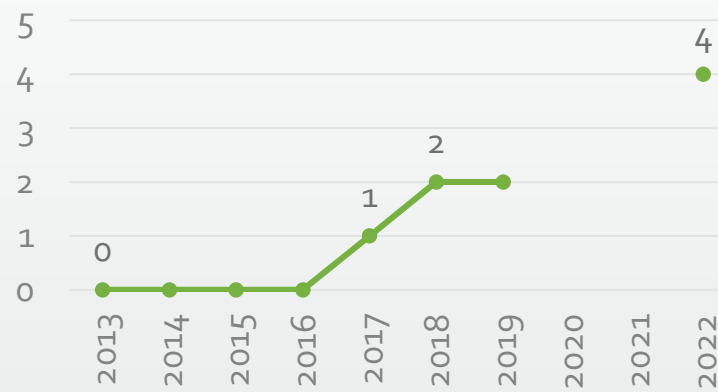


Commercial & Industrial Indicators

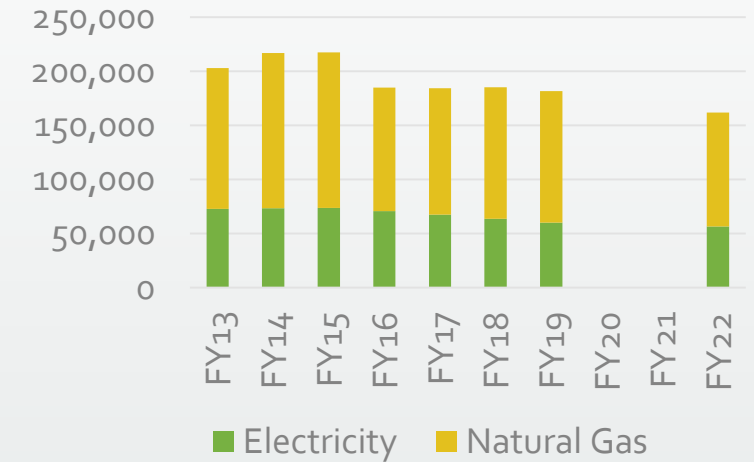
C&I Participation (%)



C-PACE Projects (Cumulative #)



Municipal Energy Use (MMBtu)



- C&I Participation** is the % of West Hartford's businesses (including municipal) that have participated in any energy efficiency programs.

Source: EnergizeCT

- C-PACE Projects** is the cumulative number of C-PACE projects reported by the CT Green Bank. C-PACE (Commercial Property Assessed Clean Energy) is a financing program available to businesses and non-profits to finance energy efficiency and clean energy projects to be repaid through a voluntary benefit assessment placed on their property by the municipality.

Source: CT Green Bank

- Municipal Energy Use** is the annual energy use of all municipal operations, including Town and school buildings, parks & pools, parking lots, and street & traffic lighting. All fuel types are converted to a common unit, MMBtu.

Source: Town of West Hartford, Plant & Facilities Services



Transportation

West Hartford's Transportation sector accounts for about 25% of our community's energy use. It relies almost entirely on fossil fuels. According to the US EPA, in the last 2 decades, the emissions coming from transportation has grown more than any other greenhouse gas source and is now the largest source of greenhouse gas emissions in the United States.

There about 47,000 registered vehicles in West Hartford. Less than 1% of those are electric vehicles (EVs). The Town itself does not own any EVs in the municipal fleet.

The State of CT's *EV Roadmap* cites the widespread deployment of EVs in the state as "a key tool in the state's effort to improve air quality for residents while also addressing the climate crisis." It is widely believed that by 2022, EVs will cost the same as conventional vehicles. In addition, studies show that the total cost of ownership, including fuel and maintenance costs, is lower. Limited-range municipal vehicles (e.g., parking, building inspectors, school buses) are ideal candidates for electrification. Nonetheless, the deployment of EVs and charging infrastructure will take time and money; it is clear we will continue to use internal combustion engine (ICE) vehicles for some years to come. Alternative fuels (e.g., biodiesel) and emissions reducing policy strategies, like fuel economy standards, route mapping, and anti-idling, should be considered for immediate emissions reductions.

EVs are not the whole answer, especially considering that not everyone can afford a personal vehicle. We must look beyond vehicles to design transportation systems around people – providing a variety of accessible, affordable, safe mobility options¹². The Town has an active Pedestrian & Bicycle Commission, a model Complete Streets policy, and a new Plan of Conversation and Development which directly support these efforts.

Decreasing transportation-related energy use (and emissions) can have immediate positive effects. During the initial COVID-19 "stay safe-stay home" phase, CT DEEP reported a 40% drop in emissions due to reduced vehicular traffic. By supporting active (human-powered) transportation, we can improve air quality, health, noise, and traffic congestion. Long-term transformation of this sector will provide clean, integrated and balanced transportation networks, which contribute directly to the equity, health, safety, economic vitality, and quality of life of everyone in our community.





Transportation Progress & Goals

Progress-to-Date

- EV Day in 2016 and w/ Kingswood Oxford School in 2018
- 8 registered public EV chargers; 4 municipal-owned.
- 234 registered EVs
- 4% reduction in municipal fuel use since FY16
- Active Complete Streets program
- Bronze level Bicycle Friendly Community
- Mutli-town RFP for ride-share (scooter) program



My EV is my everyday commuting car. I use it for as many trips as I can, because it's clean and low-cost. It's also safe – my toddler sometimes plugs and unplugs my car. I don't need solar power to save, but because I do have solar, I'm making my own cheap fuel to drive on!

- Matt Macunas, Grove St.

Approach



1. Input & Equity. Seek out multiple perspectives and public participation to ensure all members of the community have a voice. Work with partners like Pedestrian & Bicycle Commission, Bike West Hartford, Greater Hartford Transport District, CTRides, Center for Latino Progress, schools, car dealerships, neighboring communities, etc.



2. Outreach & Engagement. Increase awareness via multi-touch, multi-channel messaging. Use website, social media, email, tax inserts, videos, events, networking, etc. Provide information on benefits (e.g., health, cost of ownership). Consider using multiple languages. Leverage partner publications, events, and communication channels.



3. Participation & Adoption. Promote energy-free transportation alternatives. Promote programs and financial incentives (e.g., CHEAPR, federal tax credits). Leverage grant funds (e.g., VW, DERA) or collective buying opportunities. Host EV demo days and Q&A with owners. Target specific groups like commuters, employers, people looking to replace vehicle, WHPS Board of Ed. Identify and address barriers (e.g., access, technology, fear, cost, charging infrastructure)



4. Policy & Planning. Investigate use of workplace policies (e.g., bus pass, telecommuting) or municipal code to support sustainable mobility options and accelerate adoption of EVs. Support Pedestrian & Bicycle Commission and active transportation. Identify infrastructure needs⁸. Incorporate emissions reductions into municipal RFPs and policy¹¹. Build local political power. Focus on short-term and long-term strategies.

Benefits

- Lower CO₂ and greenhouse gas emissions
- Increased security, less dependence on foreign oil
- Improved air quality and health (e.g., asthma)
- Less noise, traffic congestion, fuel spills
- Better fuel economy and financial savings
- Improved safety, equity
- Connected, livable, walk-bike friendly communities

2022 Goals

- EV strategy in municipal vehicle fleet plan and school bus contract RFP
- 1 more municipal EV charger
- 10% reduction in municipal fuel use from FY16
- 2% of registered vehicles are EV; at least 1 municipal EV
- Review related municipal employee policies
- Identify public transit champion
- Implement community ride share program

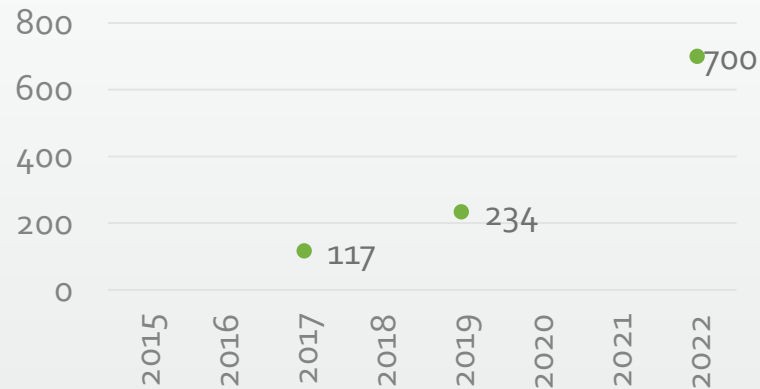
Long-Term Goals

- Fewer vehicle-miles travelled
- Integrated and accessible people-centric, multi-modal transportation system (e.g., walk, bike, mass transit, ride share, etc.)
- 100% of vehicles EV or powered by clean energy; including municipal fleet and school busses

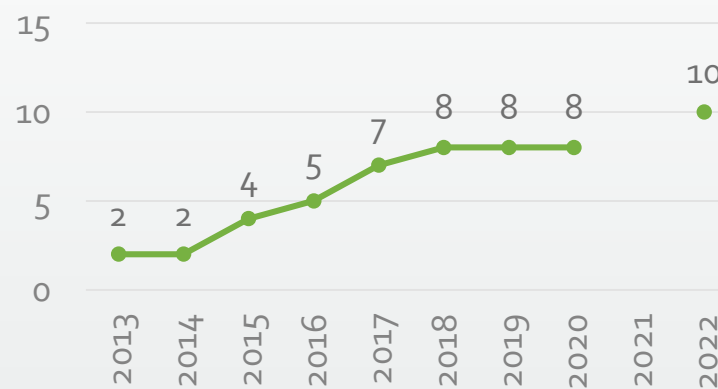


Transportation Indicators

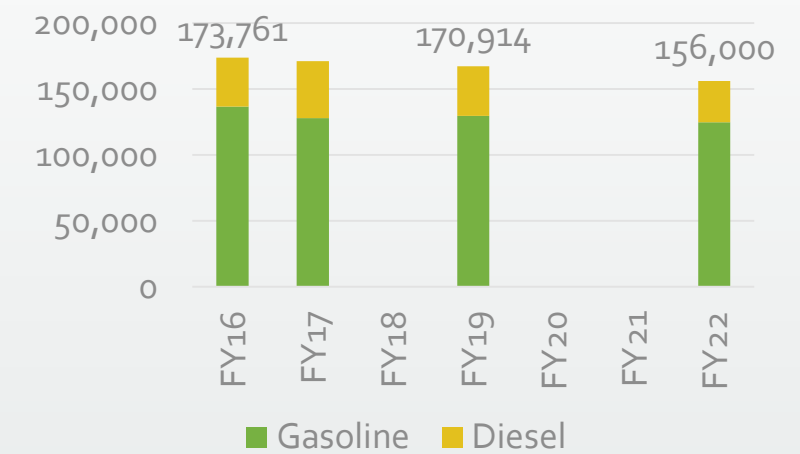
Electric Vehicles (#)



Public EV Chargers (#)



Municipal Fuel Use (Gallons)



- Electric Vehicles** is the total number of electric vehicles in West Hartford, including BEV – battery electric vehicles – and PHEV – plug-in hybrid vehicles as reported by VIN on the West Hartford Grand List.

Source: Town of West Hartford, Assessor's Office
Data for 2015 are forthcoming

- Public EV Chargers** is the total number of public electric vehicle charging stations that are listed on the US DOE's Alternative Fuel Data Center [website](#). This includes municipal-owned chargers. Details on charger type, fees, and accessibility are available on the website.

Source: US Department of Energy, ADFC

- Municipal Fuel Use** is the fuel (gas and diesel) used in municipal fleet, including all municipal and public safety vehicles, that is purchased via gas procurement card. This is the primary method that the Town uses to purchase fuel for vehicles. This does not include fuel for school buses, which are under third-party contract.

Source: Town of West Hartford, Department of Public Works



Clean Energy Production

The Town of West Hartford has been a US EPA Green Power Partner since 2014. Over 20% of municipal electricity use in FY19 was renewable via the purchase of Green-E® certified Renewable Energy Credits (RECs). 12 municipal buildings have solar PV systems, including Charter Oak International Academy which was rebuilt in 2016 with geothermal and rooftop solar PV. More than 700 West Hartford homes have installed solar PV. As the price continues to decline, solar – packaged with efficiency – may be an affordable option for many households and businesses to stabilize or reduce energy costs and go green. Google’s Project Sunroof estimates that West Hartford could support 205 MW of solar, producing 228 million kWh per year. Shared solar or on-bill green power are available as alternatives to on-site generation.

While the main focus is certainly on solar, we cannot forget other strategies and technologies. Passive building design uses climate-based solutions (e.g., solar orientation, thermal mass, etc.) to maintain building temperature, comfort, and air quality; this approach minimizes the need for mechanical heating and cooling before turning to renewables. Passive design is becoming increasingly popular and cost-effective with universities and the public sector. Immediate steps to use cleaner energy alternatives, like fuel cells or biodiesel, in existing equipment and vehicles, should also be considered. A life-cycle cost approach should be employed to evaluate different technologies.

This industry continues to evolve. Changes in technology, pricing, market conditions, political and public support all contribute to how – and when – we will get to 100% clean energy. We must build local political power to accelerate the use of clean energy in ways that support local economic development goals, create jobs, and enhance equity, environmental justice, and resiliency in our community. Net metering, distributed generation, community choice aggregation, building codes, off-shore wind, renewable energy credits, and renewable portfolio standards are some of the key policies decisions that will shape our path. An important building block of the future will be microgrids, consisting of smaller subsets of distributed power sources and storage, users, wires and controls. Microgrids are capable of operating while connected to the wider grid, or they can “island” to operate separately in the event of an outage. An example of a microgrid could be several key town facilities, a solar array, battery storage and a backup generator.





Clean Energy Progress & Goals

Progress To Date

- Solarize West Hartford campaign in 2013
- Solar for All campaign in 2018
- 718 West Hartford homes have solar
- 14 municipal solar projects
- Renewable energy credit (REC) purchase in Fy19 = 20% of municipal electricity use
- Charter Oak International Academy built in 2016 with geothermal and solar



I installed my panels in May of 2013. While my site is not ideal there are months when the panels offset all my home's electricity consumption, including the power used by my electric vehicle.

- Bernie Pelletier, Northcliff Dr

Approach



1. Input & Equity. Seek out multiple perspectives and public participation to ensure all members of the community have a voice. Work with partners like CT Green Bank, Clean Water Action, CT Energy Network, Sierra Club, contractors, neighborhood groups. Build local political power to grow voice and influence at state level and with utilities.



2. Outreach & Engagement. Increase awareness via multi-touch, multi-channel messaging. Use website, social media, email, tax inserts, videos, events, networking, etc. Consider using multiple languages. Leverage partner publications, events, and communication channels.



3. Participation & Adoption. Promote residential solar, and C-PACE programs. Educate about financing options and technology, including life-cycle costs. Showcase positive examples and stories, both residents and businesses. Target specific groups, such as properties with good exposure, EV-owners, etc. Identify and address barriers (e.g., income, perceptions, safety, zoning).



4. Policy & Planning. Investigate use of municipal building, tax codes to accelerate adoption of clean energy. Analyze and present local opportunities for local distributed generation and microgrids (e.g., brownfield sites, rooftops, etc.). Support distributed generation, community choice aggregation, off-shore wind, community shared solar and efforts to modernize the local and regional grid. Increase use of biofuels in municipal fleet and equipment. Build local requirements into RFPs and purchasing policies.

Benefits

- Improved air quality and public health due to decrease in pollution from burning fossil fuels.
- Lower CO₂ and greenhouse gas emissions
- Savings or stability on energy bills
- Improved energy self-sufficiency
- Greater resiliency during power outages
- Creates jobs and economic growth
- Positive community image

2022 Goals

- 1,000 West Hartford homes have solar, including low-to-moderate income
- 100% municipal electricity supplied by clean, renewable sources
- Investigate possible microgrid in town
- Assess remaining municipal sites for solar rooftop or carports
- Advocate for sensible policies and legislation to encourage clean, distributed local generation

Long-Term Goals

- 100% of West Hartford's energy supplied by clean, renewable sources
- Well-developed clean, distributed local generation
- Multiple microgrids in town



Clean Energy Indicators

Solar PV Installations
(Cumulative #, KW)

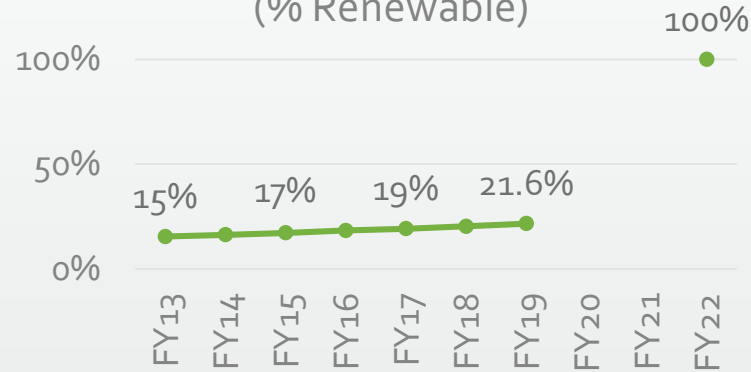


- Solar PV Installations** is the cumulative number of solar photovoltaic installations and their production capacity based on utility interconnection agreements (KW AC) – both residential and commercial – reported since 2014.

Source: EnergizeCT

Data prior to 2014 is estimated. Actuals have been requested.

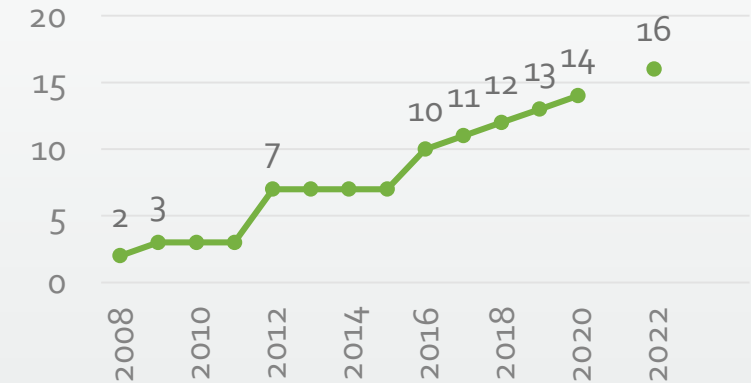
Municipal Electricity Use
(% Renewable)



- Municipal Electricity Use (% Renewable)** is the % of total municipal electricity use that is supplied by clean, renewable sources. The Town makes an annual Green-E® certified renewable energy credit (REC) purchase, which supports this official claim.

Source: Town of West Hartford, Plant & Facilities Services

Municipal Solar Projects (#)



- Municipal Solar Projects** is the number of total projects on-site (installed on municipal properties and schools) and off-site (virtual net metering). Most of these projects are under power purchase agreements (PPAs) and the Town does not own the renewable energy credits (RECs). As of 2020, these 14 projects total 4.1 MW and produce about 5 Million kWh annually. A list of projects is included in Appendix 2.

Source: Town of West Hartford, Plant & Facilities Services

Next Steps

	2021-2022	Beyond 2022
General	<ol style="list-style-type: none"> 1. Adopt resolution to support 100% by 2050 and new Energy Plan 2. Give regular updates to Town Council, Public Works & Facilities subcommittee 3. Develop effective network or means of reaching community on energy issues 4. Re-think connection with Sustainable West Hartford 5. Revamp Town's clean energy website 6. Invite youth/high school representatives to join WH Clean Energy Commission 7. Conduct heat pump education campaign 8. Work with Social Services, to design and implement an energy outreach campaign focused on equity (e.g., LMI residents, renters) 9. Conduct outreach for Sierra Club's Ready for 100 campaign – goal of 2021 adoption 10. Hold or partner on an electric vehicle event 11. Identify public transit champions 12. Recruit more community involvement in Sustainable CT 13. Explore desire to create a broader Sustainability Plan, Climate Action Plan, or Climate Resiliency Plan (to include a greenhouse gas inventory, transportation and waste/materials management, open space, etc.) with Town Council, and other appropriate Commissions; identify greenhouse gas inventory tool 14. Update Energy Plan in 2022 	<ol style="list-style-type: none"> 1. Join Sierra Club's Ready for 100 campaign 2. Investigate potential for a microgrid in town 3. Adopt policy to enable community choice aggregation 4. Conduct energy saving tips or Energy Star appliance campaign 5. Work with Town staff and zoning and planning commissions to explore how efficiency and clean energy adoption could be accelerated through municipal policy, building and/or tax codes 6. Adopt policy or promote zero-energy or no fossil fuel use in new construction 7. Inventory brownfields for alternate use 8. Restart Small Business Energy Advantage (SBEA) 9. Promote C-PACE financing of commercial projects 10. Promote a top 10 sustainable things-to-do list 11. Conduct a solarize campaign, including a community discussion of responsible and sustainable solar development in town and options for all 12. Promote alternative mobility options to reduce vehicle-miles travelled 13. Collaborate with other commissions to complete a greenhouse gas inventory and/or develop a municipal Climate Resiliency Plan 14. Support focus on energy efficiency and clean energy industry and jobs as part of economic stimulus and growth
	<ol style="list-style-type: none"> 1. Disseminate quarterly communication on building performance. 2. Work with Recycling Coordinator; hold quarterly meetings with schools. 3. Review schedule of upcoming municipal capital improvement projects in conjunction with energy data; implement additional energy efficiency projects 4. Analyze interval data for municipal buildings; develop plan to reduce peak demand 5. Update municipal fleet plans to include strategy for fuel reduction, fuel switching (e.g., biodiesel) and/or electrification. 6. Achieve Sustainable CT silver certification 	<ol style="list-style-type: none"> 1. Consolidate municipal facilities and programs into newer or renovated facilities that are more energy efficient 2. Reinstate WHPS Energy Challenge or explore additional ways to reduce municipal energy use (e.g., treasure hunts, night audits, town vs. town energy competition, project fund) 3. Develop a sustainable purchasing policy 4. Expand policies to reduce miles travelled and fuel use in municipal fleet 5. Additional municipal solar or virtual net metering projects 6. Complete assessment of EV charging infrastructure and needs

Resources to Get Started

Residential

- [EnergizeCT](#) (Home)
- [CTGreenBank](#) (Homeowners)
- [Energy Saving Tips for Your Home](#) (Eversource)
- [CT Energy Assistance Program \(CEAP\)](#)
- [Housing Data Profiles](#) (Partnership for Strong Communities)

Commercial

- [EnergizeCT](#) (Business)
- [CTGreenBank](#)
- [Commercial Property Assessed Clean Energy \(C-PACE\)](#)
- [Energy Savings Tip for Your Business](#) (Eversource)

Transportation

- [Climate Change & Transportation](#) (CT DEEP)
- [EVConnecticut](#)
- [EV Roadmap for Connecticut](#)
- [Electric School Bus Toolkit](#) (Live Green)

Clean Energy / Renewables

- [GoSolarCT](#)
- [Residential Solar Investment Program](#)
- [Project SunRoof](#) (Google)

State of Connecticut

- [Executive Order No 3](#)
- [Connecticut's Comprehensive Energy Strategy](#) (CT DEEP)
- [Governor's Council on Climate Change](#) (GC3, includes Equity and Environmental Working Group)

Town of West Hartford

- [Clean Energy Commission](#)
- [Energy Assistance](#) (Social Services, under Financial Resources)
- [Complete Streets](#)
- [Plan of Conservation and Development](#)

Other

- [American Council for an Energy-Efficient Economy \(ACEEE\)](#)
- [US DOE Office of Energy Efficiency & Renewables](#)
- [US Energy Information Administration](#)
- [Energy Star](#)
- [People's Action for Clean Energy \(PACE\)](#)
- [Sustainable CT](#)

Endnotes

1. The residential sector includes both single family homes, multi-family homes, and apartment buildings.
2. The commercial sector includes schools, institutions, houses of worship, shops, health care, restaurants, lodging, manufacturing, industrial operations, and municipal operations.
3. The transportation sector encompasses vehicles *registered* in West Hartford, including municipal fleet vehicles and school buses.
4. Effective behavior changes to reduce energy consumption include turning off lights when not needed, taking shorter showers, walking or biking in lieu of driving
5. Effective energy efficiency measures include home weatherization, adding insulation to walls, basements, and attics, replacing incandescent, halogen, and fluorescent bulbs with LED bulbs,
6. Larger technology investments that can significantly lower energy use include vehicle electrification, replacing fossil fuel HVAC systems with efficient heat pump systems, ductless mini-split heat pump systems, EnergyStar-certified appliances, intelligent building control systems, LED streetlighting retrofits, and sourcing biofuels to replace traditional heating oil.
7. Infrastructure changes necessary to enable the transition to a clean energy economy include expansion of commercial scale renewable electricity generation (solar, onshore wind, offshore wind, geothermal, tidal, small hydro, and others), modernization and hardening of the electrical grid, replacing fossil-derived fuels with waste-derived biofuels (where possible), incorporating distributed energy generation, and developing microgrids, battery storage, adoption of green building standards, use of “passive house” construction methods, enhancing the ambition of electrical and building codes, and other significant reliability improvements.
8. Infrastructure changes necessary to enable the transition to a cleaner transportation system include widespread availability of EV charging stations, replacing fossil-derived fuels with waste-derived biofuels (where possible), expanding and streamlining public transit options; expanding and improving bicycle-only lanes; and improving amenities for pedestrians and cyclists (racks, crosswalks, shelters, benches, sidewalk maintenance, etc.).
9. Specific renewable electricity generation technologies recommended for installation in West Hartford include rooftop solar PV, community shared solar, solar carports, solar thermal hot water, and geothermal.
10. Barriers to energy efficiency measures in West Hartford buildings include difficulty connecting with a trusted service provider, long wait times for delivery, installation, or service, presence of asbestos, knob and tube wiring, inadequate electrical service panels, overfilled and inaccessible storage areas, landlord permission in multifamily dwellings, and access to financing.
11. Public policy measures which should be evaluated include wise use of Connecticut Energy Efficiency Funds, support for the CT Green Bank, increased funding for energy efficiency and clean energy programs, support of high performance building standards and codes, assessment and mitigation of methane leaks, anti-idling policies, municipal and public transit electrification, increased funding for clean energy infrastructure, tax incentives for clean energy and energy efficiency, collaboration with neighboring towns and states, and streamlined permitting for clean projects.
12. Alternative transportation solutions should consider pedestrians, bicycles, electric bicycles, local public transit, regional public transit, ride sharing services, and other options.

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Page 21	Bernie Pelletier
Appendix 3	Catherine Diviney

Appendix 1 2009 Energy Plan – Progress Update on Key Actions listed in Executive Summary

Key Action	✓	Comments
Energy benchmarking for municipal buildings	✓	Ongoing
LEED Gold new construction	✓	Charter Oak International Academy 2016
Town-wide building efficiency strategy	✓	\$5 Million in projects completed 2016-19; ongoing
Short-term renewable energy strategy	✓	14 municipal solar projects; ongoing
Explore clean energy technologies in new construction and renovations, prioritize combined heat and power (CHP)	✓	Charter Oak International Academy is geothermal/solar; CHP investigated for Cornerstone Aquatics but not pursued
Increase efficiency of street lighting through removal or retrofit	✓	Street lighting converted to LED 2016-18; handful of decorative fixtures left
Establish energy management and green teams in buildings		Various school environmental clubs; 2020 Action to create network in partnership with Recycling Coordinator
Continue WHPS energy competition		Continued to 2015; 2020 Action to seek new format to re-energize participation.
Raise awareness and encourage volunteerism	✓	Clean Energy Commission focused more on community after hiring Energy Specialist; 2020 Action to better engage community on energy
Hire Energy Manager	✓	Part-time Energy Specialist staff position created 2011
Create hierarchy and utilize multiple energy financing options	✓	Projects funded by variety of methods: on-bill financing, capital budget, bond, incentives, grants; ongoing
Reinvest energy savings in further improvements	✓	Operational savings remain in utility services fund to cover volatility in future budget years; energy rebates reinvested in additional projects
Reduce vehicle fuel use 10%, set goals for fleet fuel-efficiency		2020 Action to update municipal Fleet Management Plan
Increase use of lower carbon fuel		2020 Action to update municipal Fleet Management Plan
Establish culture of conservation for vehicle use / fleet management		2020 Action to update municipal Fleet Management Plan
Standardize purchase and procurement, including energy management systems	✓	Energy management systems upgraded 2018-19; 2020 Action to create Sustainable Purchasing Policy
Purchase energy saving appliances	✓	Energy Star-recommended; 2020 Action to create Sustainable Purchasing Policy
Give preference to clean, renewable electricity purchase	✓	Annual Renewable Energy Credit purchase; support solar on municipal buildings and solar Virtual Net Metering projects
Lease/purchase most fuel-efficient vehicles, utilize car-sharing or carpooling	✓	As budget allows; 2020 Action to update municipal Fleet Management Plan
Preference to contractors who use emissions controls on equipment		2020 Action to create Sustainable Purchasing Policy
Revise energy plan annually		2020 Action to revise every 2 years
Expand plan to residents, institutions, and businesses	✓	2020 Energy Plan focuses on entire community
Consider broader sustainability or greenhouse gas plans		2020 Action with input from other town Commissions and departments

Appendix 2 Town of West Hartford 2019 Energy Benchmark

		Unit	Commercial	Residential	Total
Current Energy Used	Natural Gas	CCF	11,459,204	20,234,385	31,693,589
	Transport	Gallons	2,939,694	19,700,172	22,639,866
	Oil Heat	Gallons	0	4,278,769	4,278,769
	Electricity	kWh	188,529,992	180,193,525	368,723,517
Current Energy in Gigawatt- Hours	Natural Gas	GWh	336	593	929
	Transport	GWh	98	658	756
	Oil Heat	GWh	0	174	174
	Electricity	GWh	189	180	369
	Total	GWh	623	1,605	2,227
Current Greenhouse Gas Emissions	Natural Gas	GHG - tons	67,094	118,472	185,566
	Transport	GHG - tons	28,809	193,062	221,871
	Oil Heat	GHG - tons	-	47,922	47,922
	Electricity	GHG - tons	55,070	52,635	107,704
	Total	GHG - tons	150,972	412,091	563,063

Notes

Natural gas and electricity data provided by Energize CT..
Oil Heat and Transport is estimated using data from the West Hartford Grand List and U.S. Census Bureau American Community Survey.

Conversion factors for each fuel type to MWh are:

- 1 CCF Natural Gas = 0.0293 MWh
- 1 Gallon Heating Oil = 0.04059 MWh
- 1 Gallon Propane = 0.02677 MWh
- 1 Gallon Gasoline = 0.03341 MWh

Greenhouse gas emission rates are:

- 1 CCF Natural Gas = 0.005855 tons GHG
- 1 Gallon Heating Oil = 0.01120 tons GHG
- 1 Gallon Propane = 0.006348 tons GHG
- 1 Gallon Gasoline = 0.00980 tons GHG
- 1 MWh Electricity = 0.0000292 tons GHG

Costs per unit of fuel are:

- \$1.25 per CCF natural gas
- \$2.80 per gallon heating fuel
- \$3.00 per gallon propane
- \$2.80 per gallon gasoline
- \$0.18 per kWh electricity

Prepared by:

Bernard Pelletier, WH Clean Energy Commission and PACE.

Appendix 3 Town of West Hartford Solar Projects

Year	Site	Size (KW DC)
2006	Town Hall	3 KW (removed)
2008	Hall HS	3 KW
	Conard HS	3 KW
2009	Bristow MS	95 KW
2012	Department of Public Works	102 KW
	Bishops Corner Library	58 KW
	Wolcott ES	11 KW
	Conard Community Green Energy Lab	Demonstration solar and wind
2016	Westmoor Park	5 KW
	Charter Oak International Academy	100 KW (also 64 geothermal wells)
	Conard HS	357 KW
2017	Aiken ES	238 KW
2018	Off-Site (Thompson, CT) – Virtual Net Metering	2,400 KW
2019	Town Hall	129 KW
2020	King Philip MS	527 KW

14 projects
4 MW capacity
5 Million kWh



DRAFT – Nov 23, 2020

RESOLUTION IMPLEMENTING THE TOWN OF WEST HARTFORD ENERGY PLAN

WHEREAS, on March 10, 2009, the Town Council adopted by resolution the West Hartford Comprehensive Energy Plan (the “2009 Comprehensive Energy Plan”) developed by the Clean Energy Task Force; and

WHEREAS, the 2009 Comprehensive Energy Plan focused on municipal operations; identified energy efficiency measures for the Town’s buildings, lighting and vehicle fleet; proposed opportunities for energy mitigation and conservation; encouraged the increased use of clean and renewable energy sources; and served as a model for other Connecticut communities; and

WHEREAS, the 2009 Comprehensive Energy Plan played an instrumental role in initiating significant achievements in West Hartford, including hiring a municipal energy specialist; initiating building assessments and implementing energy projects that have reduced municipal energy use by over 20%; widespread adoption of solar on municipal buildings and schools; 100% of the Town’s electricity now coming from renewable sources; construction of the Charter Oak school to U.S. Green Building Council’s LEED Gold standard with geo-thermal heat; and numerous outreach efforts, including Solarize West Hartford, LED lightbulb swaps, electric vehicle events, and energy efficiency and clean energy educational workshops; and

WHEREAS, the Clean Energy Commission, the successor to the Clean Energy Task Force, has developed a new Energy Plan which provides an update on efforts undertaken since the adoption of the 2009 Comprehensive Energy Plan; proposes a framework for future energy projects; includes metrics for tracking progress; broadens the scope of the energy planning process to include the residential, commercial, industrial, and transportation sectors of West Hartford; aligns with the Plan of Conservation and Development; reflects West Hartford’s commitment to the U.S. Conference of Mayors Climate Protection Agreement; highlights equity; and aspires to a future where “our entire community uses 100% clean energy by 2050”; and

WHEREAS, energy efficiency and conservation and the use of renewable and clean energy resources promote and improve the fiscal health and well-being of the Town of West Hartford, and are critical steps in reducing greenhouse gas emissions that contribute to climate change.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF WEST HARTFORD THAT the Town Council adopts the Energy Plan attached hereto and directs the Town Manager to implement such plan; and

BE IT FURTHER RESOLVED THAT the Town Council extends its appreciation to the Clean Energy Commission for its good work, dedication and commitment to the promotion of energy efficiency and conservation and the use of clean and renewable energy resources in the Town of West Hartford.

(HART)
June 22, 2021